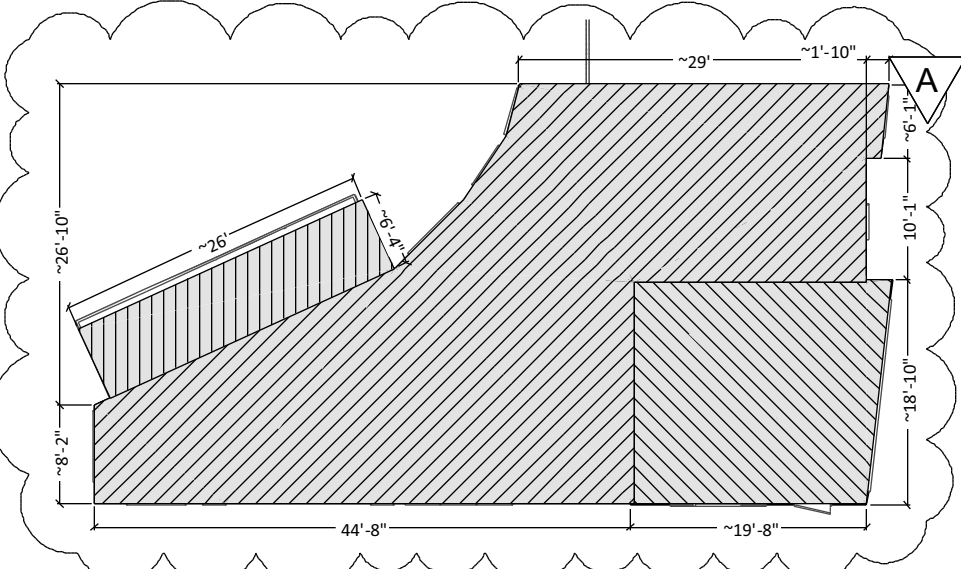
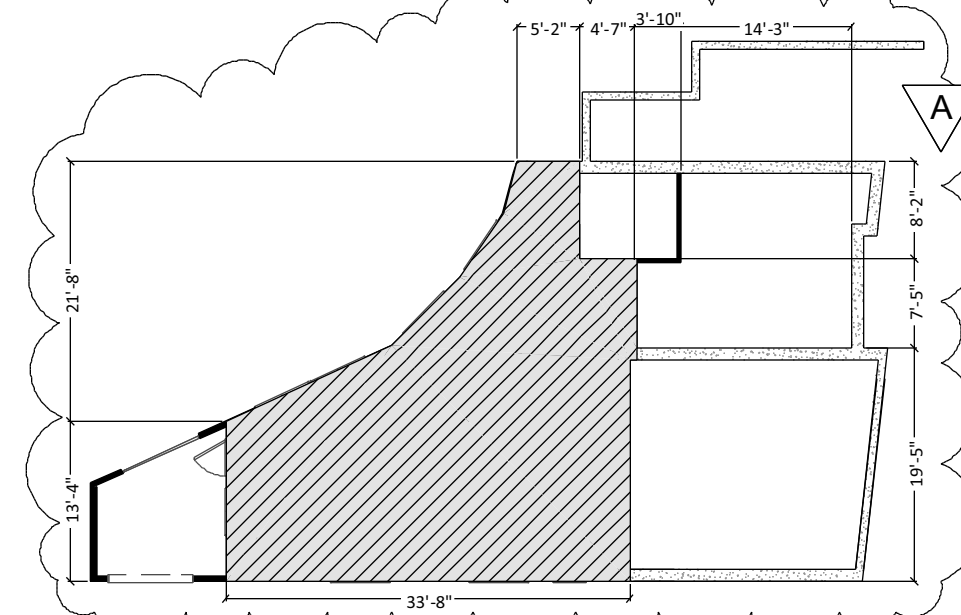


UPPER LEVEL, 948 sqft.
ROOF DECK, 112 sqft



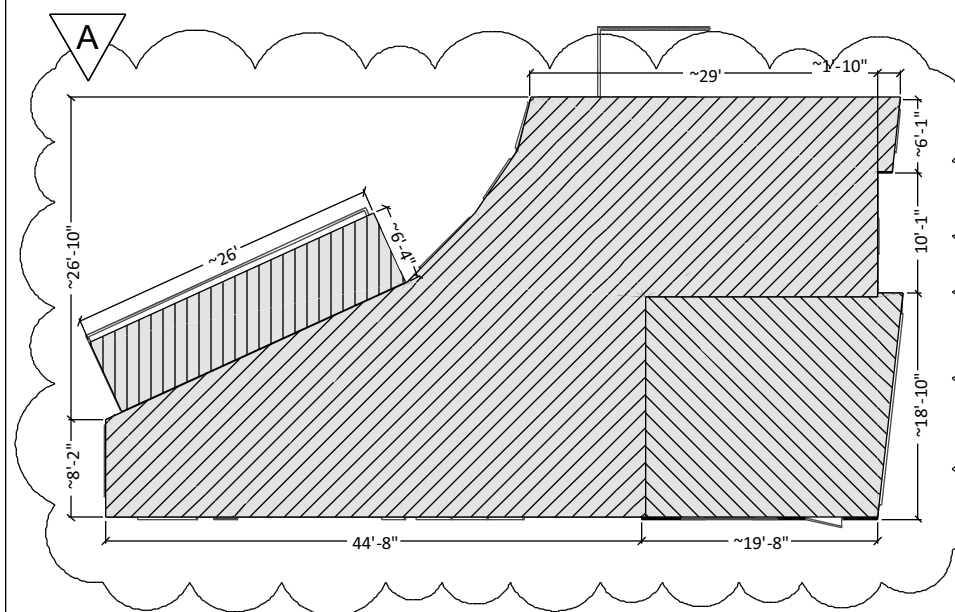
STREET LEVEL, 1st Floor: 1278 sqft.
CANTILEVER DECK: 179 sqft
GARAGE: 374 sqft



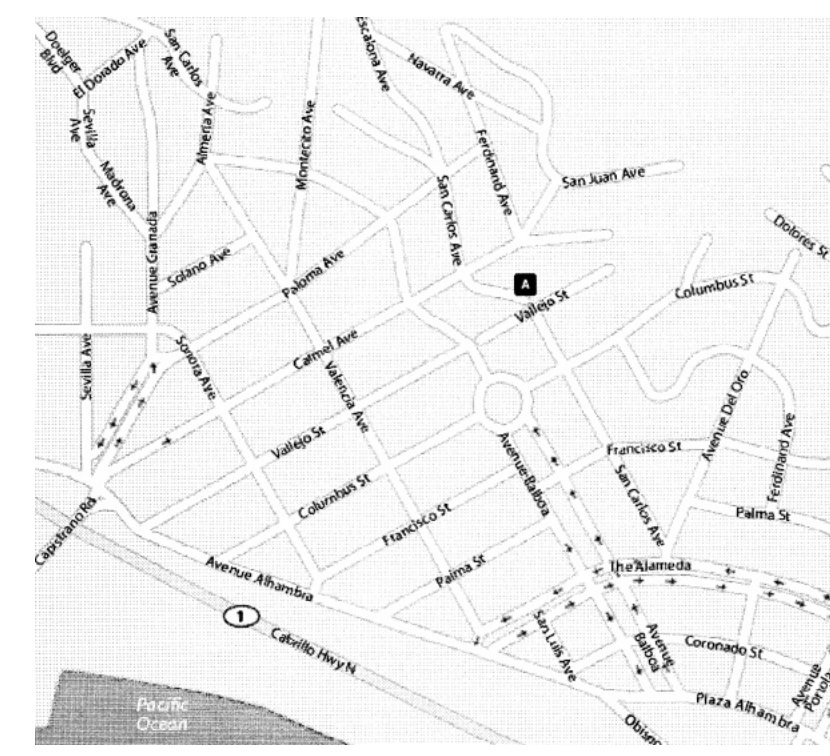
LOWER LEVEL ADU, 795 sqft.
LAUNDRY/MECH ROOM, 68 sqft
patio, 120 sqft

4 Floor Area Schemes
scale 1/16" = 1'-0"

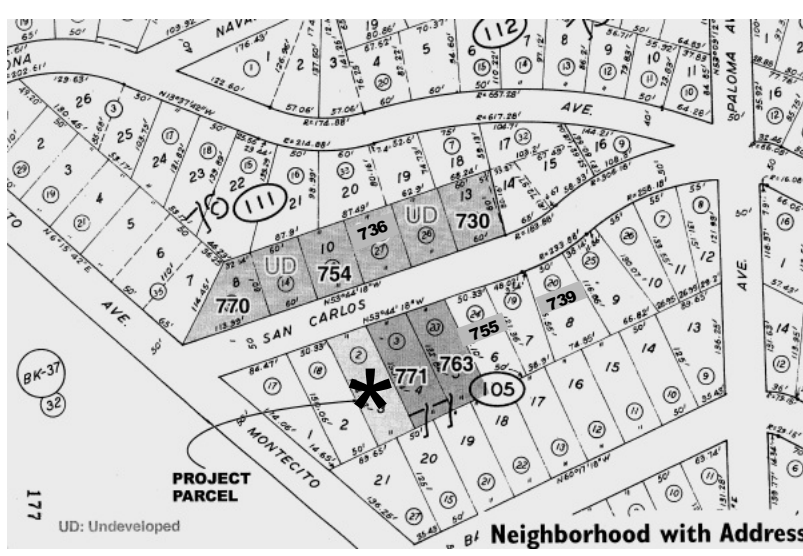
Parcel coverage areas are calculated using the CAD polygon area functions within the program.



3 Coverage Scheme; 1831 SQFT
scale 1/16" = 1'-0"



2 Parcel Map
scale None



1 Vicinity Map
scale None

GENERAL CODES:

- SMOKE DETECTORS SHALL BE INSTALLED IN EVERY SLEEPING ROOM AND AT POINTS CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN NEW CONSTRUCTION, ALL SMOKE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP.
- TEMPERED SAFETY GLASS IS REQUIRED AT ALL SLIDING GLASS DOORS, SIDELIGHTS ADJACENT TO DOORS, AND GLAZING LOCATED LESS THAN 18" FROM THE FLOOR, SHOWERS AND TUB ENCLOSURES, OR ANY HAZARDOUS LOCATIONS FOR GLAZING WHICH COULD BE SUBJECT TO HUMAN IMPACT.
- ALL DOORS AND WINDOWS TO OUTSIDE OR UNCONDITIONED AREAS SHALL BE WEATHER STRIPPED. ALL MANUFACTURERS OF PRODUCTS SHALL BE APPROVED BY A.N.S.I
- PROVIDE APPROVED FLASHING AT ALL OPENINGS AT THE EXTERIOR WALLS, SUCH AS DOOR, WINDOWS, SKYLIGHTS, VENTS, PIPES, DUCTS, UNLESS OTHERWISE NOTED.
- ALL LATH AND PLASTER SHALL CONFORM TO U.B.C. CHAPTER 25. EXTERIOR PLASTER SHALL BE APPLIED WITH 3 COATS, 7/8" THICK MINIMUM APPLIED OVER 2 LAYERS OF #15 GRADE "D" FELT, WITH GALVANIZED METAL SCREEDS AND WEEP SCREEDS.
- ALL WATER CLOSETS AND BIDETS SHALL BE PROVIDED WITH A MINIMUM OF 30" CLEAR FLOOR SPACE OR 15" MINIMUM FROM CENTERLINE OF THE FIXTURE TO ANY WALL OR VERTICAL SURFACE ON EITHER SIDE OF THE FIXTURE.
- ALL HALLWAYS WILL PROVIDES MINIMUM CLEAR WIDTH OF 36".
- AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13D MUST BE SUBMITTED. THE ENTIRE STRUCTURE SHALL HAVE FIRE SPRINKLERS, THEY MUST BE DRAWN BY A CONTRACTOR HAVING A C-16 LICENSE. THE SUBCONTRACTOR SHALL PRODUCE DRAWINGS FOR APPROVAL BY THE CITY, COUNTY OR FIRE DEPARTMENT.

SITE ANALYSIS.

PROPERTY OWNERS:

Rodrigo and Elizabeth Lacasia
4 El Sereno Dr.
San Carlos CA, 94070

ZONING REQUIREMENTS AND BUILDING DATA

The proposed project conforms to the San Mateo County Planning Division standards for One/Two Family Residential Development in the Midcoast Section 6565.20.

ZONING: R-1, S-17 One family Residential Mid-Coast District
APN: 047-105-020, 779 San Carlos Avenue, El Granada CA 94019
Site frontage 50.33 ft.
Site rear 50.00 ft.
Site left 138.52 ft.
Site right 144.28 ft.
Lot size 7070 sq.ft.
Lot slope greater than 1 foot fall per 7 feet run.

SETBACKS S-17 STANDARDS PROPOSED

Facade Articulation Compliance

*For structures 16 feet in height or less: 5 feet each side. For structures over 16 feet in height: combined total of 15 feet with a minimum of 5 feet on any side

	REQUIRED	PROPOSED
Right set back	5 ft.	10 ft.
Left set back	5min.*	5 ft.
Front set back	20 ft.	4'-0" for entry with variance. Garage is permitted per SMC Section 6411.
Area of requested variance outline =	263 sqft.	
Rear set back	20 ft.	70'-9"

SECTION 6411. Detached accessory buildings shall conform to the following additional regulations as to their location upon the parcel. (a) Where the slope of the front half of the lot is greater than one (1) foot rise or fall in a distance of seven (7) feet from the established street elevation at the property line, or where the elevation of the lot at the street line is five (5) feet or more above or below the established street elevation, a garage or carport, attached or detached, may be built to the front lot line. Such garage shall hold the side yard setbacks required for the main building and a maximum height specified for such carports and garages by the district, or when not specified by the district, a maximum height of 28 feet.

EASEMENTS OF RECORD:

None.

ENCROACHMENTS:

Cantilevered 1st floor deck encroaches seven feet into riparian buffer zone and is permitted to accommodate the minimum sized patio furniture seating for four people per industry design standards.

LANDSCAPING:

Limited to less than 500 sqft due to buffer zone.

PARKING SPACES:

2 covered, 1 uncovered

BUILDING HEIGHT:

Allowable: 36ft. vertically above natural grade Per Chapter 20, Sec 6300.2 (6) for lot slopes over 1:7. Lot slope is greater than 1:7.
Proposed: 29'-5" max building height above natural grade at ridge

GRADING: Combined Approx. Cut And Fill: 121 cu yds,

Net Cut and Fill : -18 cu yds. Ref. Site Plan

CRAWL SPACES:

If the crawlspace does not have a "floor" it's not included in FAR.

ALL CONSTRUCTION SHALL CONFORM TO:

- 2019 CA RESIDENTIAL CODE
- 2019 CA BUILDING CODE
- 2019 CA PLUMBING CODE
- 2019 CA MECHANICAL CODE
- 2019 CA ELECTRICAL CODE
- 2019 CA FIRE CODE
- 2019 CA ENERGY CODE
- 2019 CA GREEN BUILDING CODE STANDARDS

PAGE	LABEL	TITLE
1	G010	COVER SHEET & PROJECT INFORMATION
2	G010.1	COLOR BOARD
3	G020	TOP, BOUNDARY AND BIOLOGICAL SURVEY
4	G020.1	SEWER MAIN LOCATION/ANALYSIS
5	A100	SITE PLAN
6	A101	ADU FLOOR PLAN
7	A102	FIRST FLOOR PLAN
8	A103	SECOND FLOOR PLAN
9	A104	ROOF PLANS
10	A105	WINDOW SCHEDULES
11	A201	N / S ELEVATIONS
12	A202	W/E ELEVATIONS
13	A301	CROSS SECTIONS
14	L-100	LANDSCAPE PLAN
15		MASSING STUDY ILLUSTRATIONS

IDENT	IMPERVIOUS AREA <18"	LENGTH (FT)	WIDTH (FT)	AREA (SQFT)
L1	CONCRETE FLAT WORK	5	3.5	18
L2	CONCRETE FLAT WORK	5.7	6.2	35
L3	CONCRETE FLAT WORK	25.8	2.8	72
L4	CONCRETE FLAT WORK	7.2	5.0	36
L5	CONCRETE FLAT WORK	12.0	5.0	60
N	RAILROAD TIES	20.6	3.3	68
TOTAL (SQFT)				289

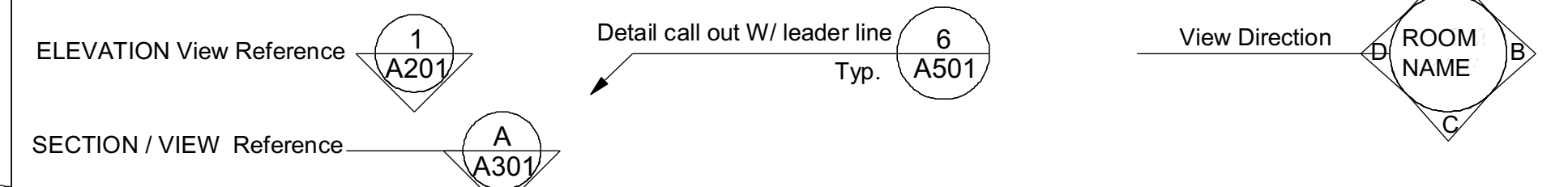
SECTION	AREA (SQFT)	WIDTH (FT)	VOLUME CUYD
CUT			
LEFT STAIRS	110.0	5.0	-20
UNDER ADU	46.0	35.0	-60
FILL			
LEFT PATHWAY	26	5	5
UNDER ADU	58.0	17.0	37
COMBINED			121
NET			-18

ALLOWED	PROPOSED	SITE AREA
7070	7070	SITE AREA
35%	26%	SITE COVERAGE %
53%	51%	FLOOR AREA %

MISC. NOTES & CONSTRUCTION OPERATIONS.

- THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA AND PROTECTION TO THE RIPARIAN BUFFER ZONE.
- SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATIONS GREATER THAN 2,500 P.S.I, EPOXY HOLDOWNS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING AND FOR SHEAR WALL NAILING SPACED 4" OR LESS. COMPLETE AND SUBMIT A STAMPED AND SIGNED SPECIAL INSPECTION FORM PRIOR TO PERMIT ISSUANCE.
- THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.
- INCLUDE HOUSE ADDRESS: NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TO THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS.
- GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT ALL TIME, OR REMOVE FROM SITE. G.C. TO VERIFY THAT ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED. G.C. TO VERIFY THAT THE WATER LINE HAS A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.
- IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.
- A DEBRIS BIN IS TO BE LOCATED SOMEWHERE ON THE SITE. DEBRIS IS TO BE HAULED OF-SITE AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED OF WEEKLY.
- THE APPLICANT/CONTRACTOR SHALL ENSURE THAT NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY- ON SAN CARLOS AVE. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, OR IN LOCATIONS WHICH DO NOT IMPEDED SAFE ACCESS ON SAN CARLOS AVE. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT-OF-WAY.
- NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED. NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITIES SHALL NOT EXCEED THE 80 DBAS LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 7:00 AM TO 6 P.M., MONDAY THROUGH FRIDAY AND 9 A.M. TO 5 P.M. ON SATURDAYS. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAYS AND NATIONAL HOLIDAYS.
- WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS.
- NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT-OF-WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT / CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.
- PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MAY BE REQUIRED TO PROVIDE PAYMENT OF "ROADWAY MITIGATION FEES" BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3211
- THE APPLICANT SHALL SUBMIT A PERMANENT STORM WATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY DRAINAGE POLICY, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.
- SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS.
- NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

GENERAL SYMBOLS



- ABS = acrylonitrile-butadiene-styrene plastic pipe.
- AHJ = authority having jurisdiction
- Appl = appliance
- Apr. = approximate
- ASTM = American Society for Testing and Materials
- AWG = American Wire Gauge
- B (vent) = double-walled round gas appliance flue
- Bldg = building
- BM = Bench Mark
- BO = building official
- Btu = British thermal unit
- BUR = built-up roofing
- BW = double-walled oval gas appliance flue
- CPVC = chlorinated polyvinyl chloride plastic
- CSST = corrugated stainless-steel tubing (gas pipe)
- Cu = copper
- CWV = combination waste and vent
- DFU = drainage fixture unit(s)
- Dia = diameter
- DWV = drain, waste & vent
- (E) = Existing condition
- EGC = equipment grounding conductor
- EMT = electrical metallic tubing (thin wall electrical conduit)
- Eqmnt = equipment
- Eq = Equal
- Ext = exterior
- FF = Finish floor
- Fin = Finish
- Flr = Floor
- FMC = flexible metal conduit ("flex" or "Greenfield")
- Fndn = foundation
- FP = fireplace
- Ga = gage or gauge
- Galv = galvanized
- GEC = grounding electrode conductor
- GPM = gallons per minute
- Grnd = Ground
- Hyd = Fire Hydrant
- IMC = intermediate metal conduit
- Kw = kilowatts
- L&L = listed & labeled
- LAVY = lavatory (bathroom sink)
- LFMC = liquid tight flexible metal conduit ("sealtight")
- LFNC = liquid tight flexible nonmetallic conduit
- Loc = located, location
- (N) = New Condition
- O.C. = on center
- PB = polybutylene plastic pipe
- PE = polyethylene plastic pipe
- Pending = likely to be adopted, check with local jurisdiction
- PEX = cross-linked polyethylene plastic pipe
- PL = property line
- Prefab = prefabricated
- PMI = per manufacturer, instructions
- PSI = pounds per square inch
- PVC = polyvinyl-chloride plastic, pipe or electrical conduit
- (R) = Relocated Condition
- Recep = receptacle outlet (electrical)
- Rqmt = Requirements
- RMC = rigid metal conduit
- RNC = rigid nonmetallic conduit (PVC electrical conduit)
- SA = small appliance (branch circuits)
- Sch. = schedule of pipe, i.e., schedule 40 PVC
- SDC = Seismic Design Category
- SW = single-wall gas flue pipe
- SZ = seismic zone
- TOFF = Top of finished floor
- TOP = Top of plate
- Typ = Typical
- UL = Underwriter's Laboratories, Inc.
- VA = volt amps (input power vs. output power-watts)
- W = electrical conductors rated for wet location
- WH = water heater
- WSFU = water supply fixture unit(s)



3 BDRM- 4.5 BTH WITH ATTACHED 1/1 ADU

DESIGNER:
ROD LACASIA-BARRIOS
4 EL SERENO DR.
SAN CARLOS, CA
650 766-2463

STRUCTURAL ENGINEER:
TBD

ENERGY CALCS:
TBD

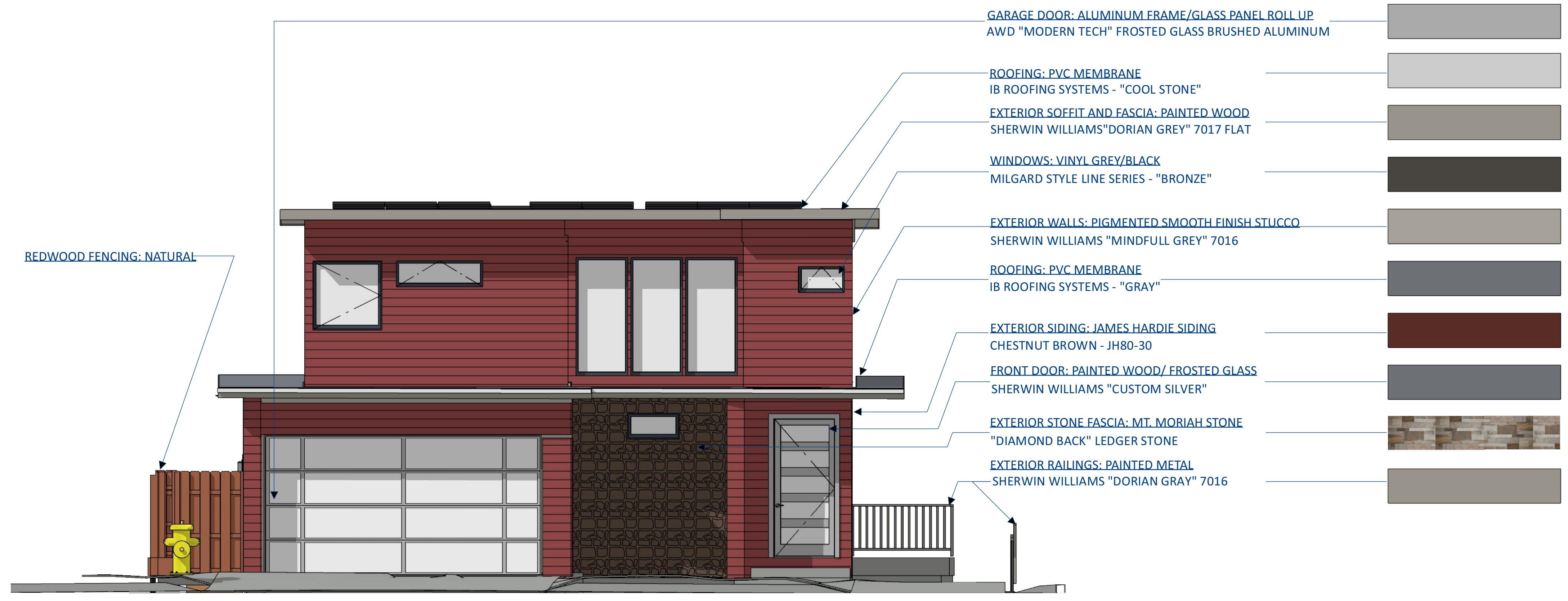
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A	3/29/2022	RLB	SNC PLING COMMENT 1

779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

COVER SHEET &
PROJECT
INFORMATION

SCALE: AS SHOWN
ISSUE DATE: 12-14-2021
DRAWN BY: ROD LACASIA-BARRIOS
SHEET NO.: G010

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SAMPLE PRIMARY BUILDING ELEVATION - MATERIALS BOARD - 779 SAN CARLOS AVE, EL GRANADA
 RE-CONSTRUCTION, 4 EL SERENO DR. SAN CARLOS, 650-766-2463

DESIGNER:
 ROD LACASIA-BARRIOS
 4 EL SERENO DR.
 SAN CARLOS, CA
 650 766-2463

STRUCTURAL ENGINEER:
 TBD

ENERGY CALCS:
 TBD

REVISION	BY	DESC.

779 SAN CARLOS AVE
 EL GRANADA, CALIFORNIA
 NEW RESIDENCE



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COLOR BOARD

SHEET TITLE

SCALE: AS SHOWN

ISSUE DATE: 12-14-2021

DRAWN BY: ROD LACASIA-BARRIOS

SHEET NO. G010.1

DESIGNER:
 ROD LACASIA-BARRIOS
 4 EL SERENO DR.
 SAN CARLOS, CA
 650 766-2463

STRUCTURAL ENGINEER:
 TBD

ENERGY CALCS:
 TBD

REVISION	DATE	BY	DESC.

779 SAN CARLOS AVE
 EL GRANADA, CALIFORNIA
 NEW RESIDENCE

SHEET TITLE

TOPO, BOUNDARY AND BIOLOGICAL SURVEY

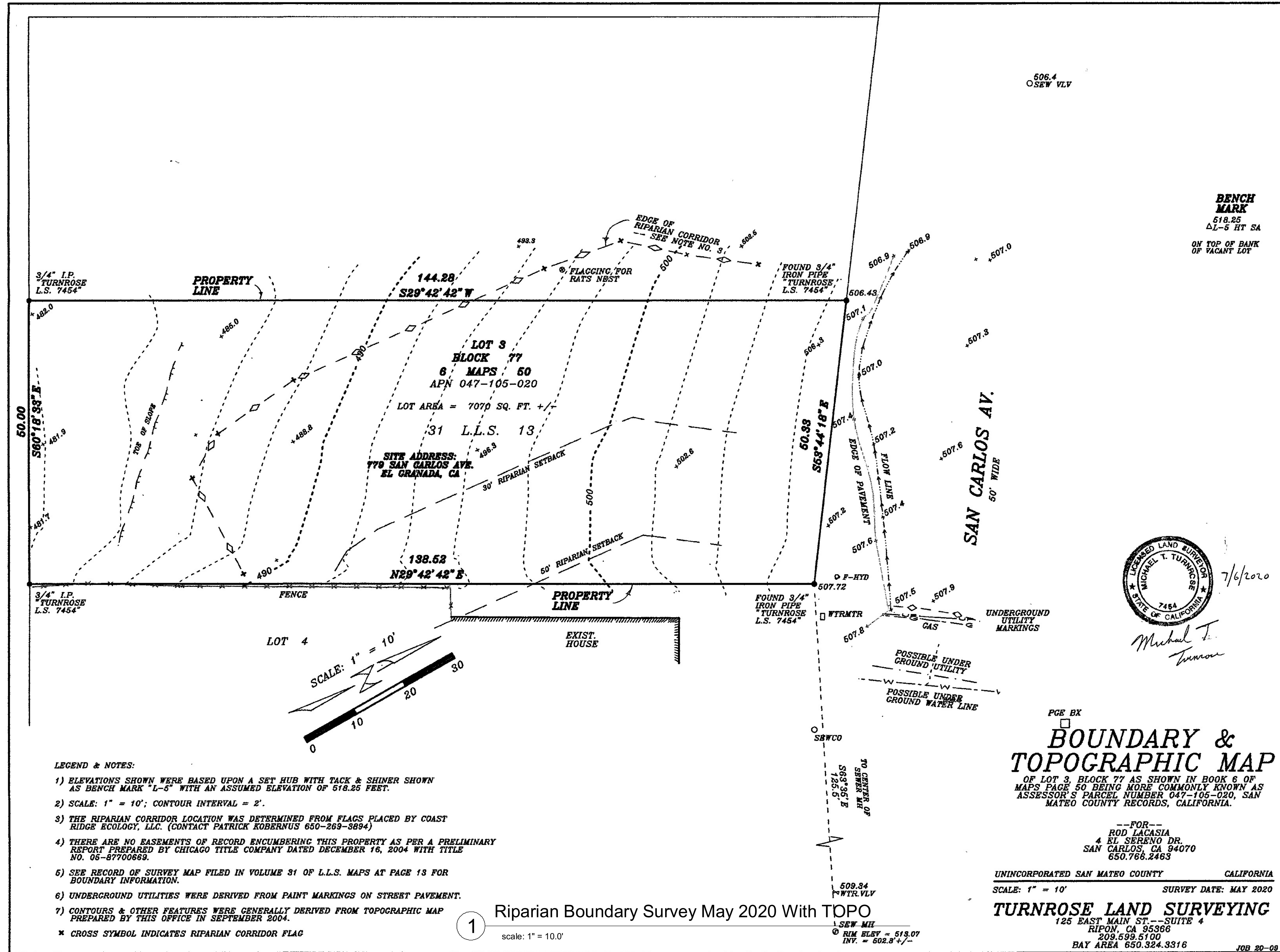
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ISSUE DATE: 12-14-2021

DRAWN BY: ROD LACASIA-BARRIOS

SHEET NO. G020



- LEGEND & NOTES:
- ELEVATIONS SHOWN WERE BASED UPON A SET HUB WITH TACK & SHINER SHOWN AS BENCH MARK "L-5" WITH AN ASSUMED ELEVATION OF 518.25 FEET.
 - SCALE: 1" = 10'; CONTOUR INTERVAL = 2'.
 - THE RIPARIAN CORRIDOR LOCATION WAS DETERMINED FROM FLAGS PLACED BY COAST RIDGE ECOLOGY, LLC. (CONTACT PATRICK KOBERNUS 650-269-3894)
 - THERE ARE NO EASEMENTS OF RECORD ENCUMBERING THIS PROPERTY AS PER A PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY DATED DECEMBER 16, 2004 WITH TITLE NO. 05-57700669.
 - SEE RECORD OF SURVEY MAP FILED IN VOLUME 31 OF L.L.S. MAPS AT PAGE 13 FOR BOUNDARY INFORMATION.
 - UNDERGROUND UTILITIES WERE DERIVED FROM PAINT MARKINGS ON STREET PAVEMENT.
 - CONTOURS & OTHER FEATURES WERE GENERALLY DERIVED FROM TOPOGRAPHIC MAP PREPARED BY THIS OFFICE IN SEPTEMBER 2004.
- * CROSS SYMBOL INDICATES RIPARIAN CORRIDOR FLAG

1 Riparian Boundary Survey May 2020 With TOPO
 scale: 1" = 10.0'

PGE BX
**BOUNDARY &
 TOPOGRAPHIC MAP**
 OF LOT 3, BLOCK 77 AS SHOWN IN BOOK 6 OF
 MAPS PAGE 50 BEING MORE COMMONLY KNOWN AS
 ASSESSOR'S PARCEL NUMBER 047-105-020, SAN
 MATEO COUNTY RECORDS, CALIFORNIA.

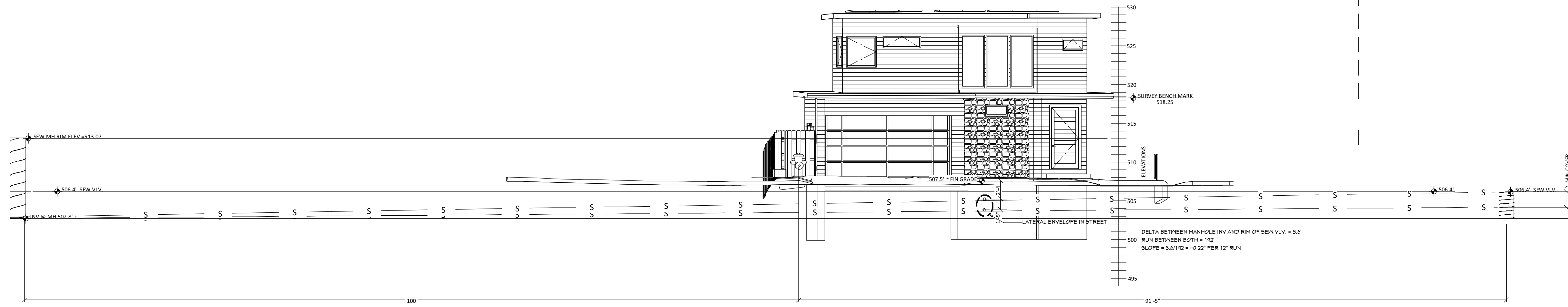
--FOR--
 ROD LACASIA
 4 EL SERENO DR.
 SAN CARLOS, CA 94070
 650.766.2463

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 10' SURVEY DATE: MAY 2020

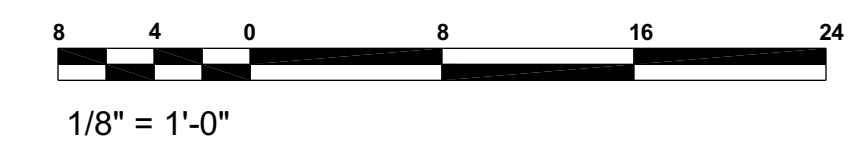
TURNROSE LAND SURVEYING
 125 EAST MAIN ST. SUITE 4
 RIPON, CA 95366
 209.599.5100
 BAY AREA 650.324.3316

JOB 20-09

7/6/2020
 Michael T. Turnrose
 LICENSED LAND SURVEYOR
 MICHAEL T. TURNROSE
 STATE OF CALIFORNIA
 7454



1 SURVEYED SEWER PROFILE IN STREET
scale: 1" = 8.0'



DESIGNER:
ROD LACASIA-BARRIOS
4 EL SERENO DR.
SAN CARLOS, CA
650 766-2463

STRUCTURAL ENGINEER:
TBD

ENERGY CALCS:
TBD

REVISION	DATE	BY	DESC.

779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

SHEET TITLE
**SEWER MAIN
LOCATION/ANALYSIS**

ALL INFORMATION IS
COPYRIGHTED 2021

SCALE: AS SHOWN

ISSUE DATE: 12-14-2021

DRAWN BY:
ROD LACASIA-BARRIOS

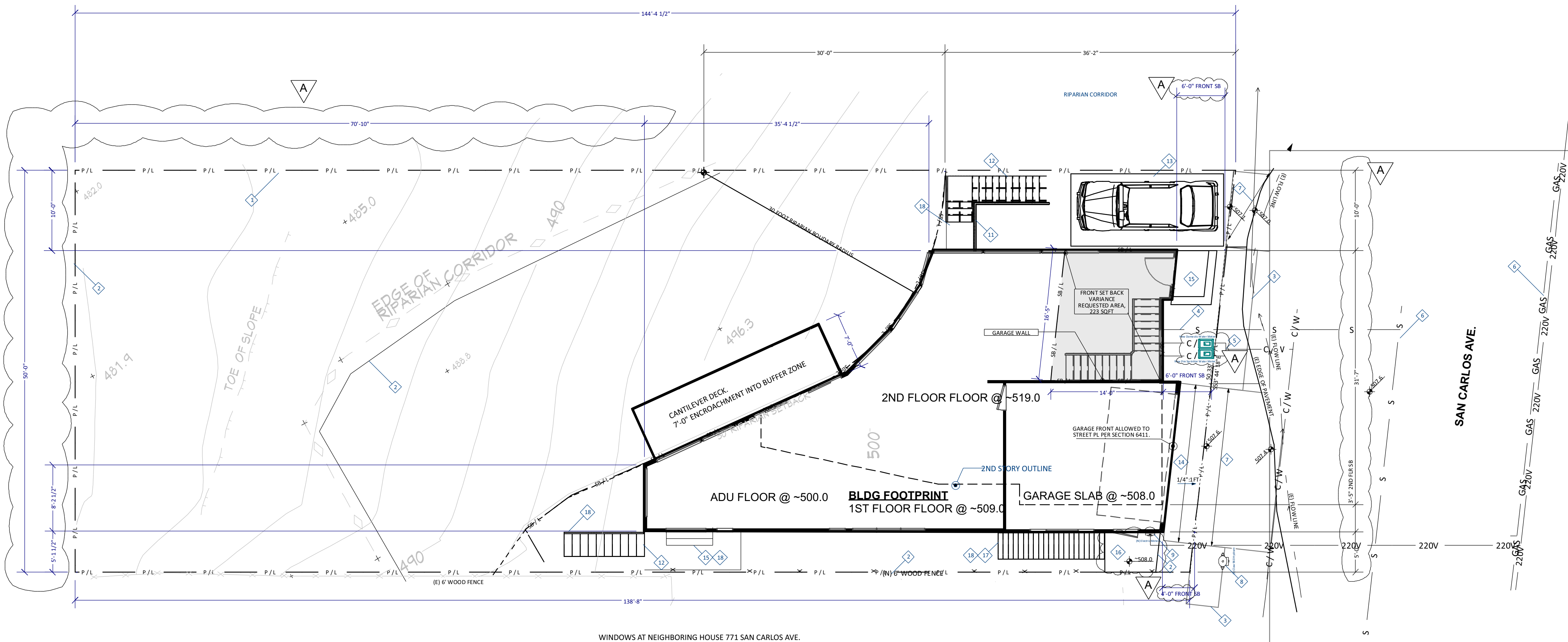
SHEET NO.:

G020.1

SITE PLAN GENERAL NOTES:

1. INFORMATION FOR SPECIFICATIONS AND CONSTRUCTION DETAILS FOR COAST SIDE WATER DISTRICT WATER CONNECTIONS CAN BE OBTAINED AT <http://www.coastsidewater.org/ccwd-forms.html>.
2. INFORMATION FOR SPECIFICATIONS AND CONSTRUCTION DETAILS FOR PG&E GAS AND ELECTRICAL CONNECTIONS CAN BE OBTAINED AT https://www.pge.com/en_US/large-business/services/building-and-renovation/greenbook-manual-online/greenbook-manual-online.page.
3. AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY.
4. LOCATION AND DISTANCES SHOWN FOR IN-STREET UTILITIES ARE AS MEASURED USING USA PAINTED MARKINGS ON ROADWAY TO THE SURVEYED PROPERTY LINES.
5. UNDERGROUND ELECTRICAL SERVICES SHALL BE PROVIDED IN ALL NEW CONSTRUCTION. UNDERGROUND SERVICE SHALL BE INSTALLED IAW THE MOST RECENT EDITION OF PG&E GREEN BOOK REQUIREMENTS PER MUNICIPAL CODE 14.04.070 (A).
6. COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH. MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS. STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE.
7. SEWER CLEAN OUTS SHALL BE INSTALLED PER COUNTY REGULATIONS AND STANDARDS. CLEANOUTS IN BLDG SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATER TIGHT.
8. SANITARY FACILITIES SHALL BE LOCATED ON THE NORTH WEST END OF THE PROPERTY.
9. CLEAN-UP AREA SHALL BE LOCATED ON THE NORTH EAST END OF THE PROPERTY.
10. CONSTRUCTION MATERIALS AND STORAGE SHALL BE LOCATED ON THE NORTH SIDE OF THE PROPERTY.
11. SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE WATER DETENTION AREAS. SEE CIVIL PLANS.
12. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS SEE "GRADING, DRAINAGE EROSION CONTROL PLAN" ON CIVIL SHEETS. SEE SEPARATE DRAINAGE PLAN BY CIVIL ENGINEER FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN.
13. RAINWATER LEADERS (DOWNSPOUTS) TO TIE INTO UNDERGROUND DRAIN; SEE DRAINAGE PLAN BY CIVIL ENGINEER ON CIVIL SHEETS.
14. MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING. 8" FROM SILL.
15. DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO PONDING PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT, THE APPLICANT/ CONTRACTOR SHALL SUBMIT A DRIVEWAY "PLAN AND PROFILE" TO THE DEPT. OF PUBLIC WORKS, SHOWING THE DRIVEWAY ACCESS TO THE PARCEL (GARAGE SLAB) COMPLYING WITH THE COUNTY STANDARDS FOR DRIVEWAY SLOPES (NOT TO EXCEED 20%) AND TO COUNTY STANDARDS (AT THE PROPERTY LINE) BEING THE SAME ELEVATION AS THE CENTER OF THE ACCESS ROADWAY.
16. WHEN APPROPRIATE, AS DETERMINED BY THE DEPT. OF PUBLIC WORKS, THIS "PLAN AND PROFILE" SHALL BE PREPARED FROM ELEVATIONS AND ALIGNMENT SHOW ON THE ROADWAY IMPROVEMENT PLANS, THE DRIVEWAY PLAN SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.
17. APPROXIMATE CUT & FILL BASED ON AVERAGE SECTION AREA TIMES WIDTH FOR AFFECTED SECTION OF BUILDING. REFERENCE ELEVATIONS AND SECTIONS SHEETS.

CUT & FILL CALCS			
SECTION	AREA (SQFT)	WIDTH (FT)	VOLUME CUYDS
CUT			
LEFT STAIRS	110.0	5.0	-20
UNDER ADU	46.0	35.0	-60
FILL			
LEFT PATHWAY	26	5	5
UNDER ADU	58.0	17.0	37
COMBINED			121
NET			-18



1 SITE PLAN Ground Level
scale 1/8" = 1'-0"

COASTSIDE FIRE PROTECTION DISTRICT NOTES:

1. ADDRESS NUMBERS: PER THE CFPDC 2016-01, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED AND VISIBLE FROM THE STREET. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON-SITE. THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 3/4-INCH STROKE. SUCH LETTERS/NUMERALS SHALL BE INTERNALLY ILLUMINATED AND FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNIT SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM FINISHED GRADE. WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE CFPDC FOR STANDARD SIGN.
2. ROOF COVERING: PER THE CFPDC 2016-01, THE ROOF COVERING OF EVERY NEW BUILDING OR STRUCTURE, AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.
3. VEGETATION MANAGEMENT: PER THE CFPDC 2016-01, THE 2016 CALIFORNIA FIRE CODE (CFC), AND THE PUBLIC RESOURCES CODE (PRC) 4291:
 - A. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. IN THE STATE RESPONSIBLE AREA (SRA), THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.
 - B. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 TO 10 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
 - C. REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE.
4. FIRE HYDRANT: PER THE 2016 CFC, APPENDICES B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (CLAW 960) MUST BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS. PER THE 2016 CFC, APPENDIX B, THE HYDRANT MUST PRODUCE A MINIMUM FIRE FLOW OF 1,000 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS. THE APPLICANT SHALL PROVIDE DOCUMENTATION INCLUDING HYDRANT LOCATION, MAIN SIZE, AND FIRE FLOW REPORT AT THE BUILDING PERMIT APPLICATION STAGE. INSPECTION REQUIRED PRIOR TO FIRE'S FINAL APPROVAL OF THE BUILDING PERMIT OR BEFORE COMBUSTIBLES ARE BROUGHT ON-SITE.
5. AUTOMATIC FIRE SPRINKLER SYSTEM: AS PER SAN MATEO COUNTY BUILDING STANDARDS AND CFPD ORDINANCE 2016-01, THE APPLICANT IS REQUIRED TO INSTALL AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13D THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DEPARTMENT. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED, AND APPROVED. UPON SUBMISSION OF THE PLANS, THE COUNTY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE PROTECTION DISTRICT FOR REVIEW. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.
7. EXTERIOR BELL AND INTERIOR HORN/STROBE: ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER, ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.
8. ADD NOTE TO THE TITLE PAGE THAT THE BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.
9. ALL FIRE CONDITIONS AND REQUIREMENTS MUST BE INCORPORATED INTO YOUR BUILDING PLANS PRIOR TO BUILDING PERMIT ISSUANCE.

COASTSIDE COUNTY WATER DISTRICT

1. THE PROJECT WILL BE REQUIRED TO COMPLY WITH COASTSIDE COUNTY WATER DISTRICT'S (DISTRICT) INDOOR WATER USE EFFICIENCY ORDINANCE WHICH INCLUDES REGULATIONS ON WATER METERING AND WATER USE EFFICIENCY SPECIFICATIONS FOR PLUMBING FIXTURES AND APPLIANCES. THE DISTRICT WILL PERFORM INSPECTIONS TO VERIFY COMPLIANCE WITH ALL DISTRICT REGULATIONS DURING AND AFTER CONSTRUCTION.
2. NO PASSIVE PURGE SYSTEMS ARE TO BE INSTALLED ON FIRE PROTECTION SERVICES. FIRE PROTECTION SERVICES ARE AUTHORIZED FOR THE SOLE PURPOSE OF FIRE PROTECTION. THERE SHALL BE NO CROSS CONNECTIONS, AND APPROVED BACKFLOW PROTECTION IS REQUIRED.
3. BEFORE ISSUANCE OF A BUILDING PERMIT, THE DISTRICT WILL NEED TO EVALUATE A COMPLETE SET OF BUILDING PLANS TO DETERMINE IF THE WATER SERVICE CAPABILITY AVAILABILITY IS ADEQUATE FOR THIS DEVELOPMENT AND COMPLIES WITH ALL DISTRICT REGULATIONS.

BENCH MARK
518.25
± L-5 HT SA
ON TOP OF BANK OF VACANT LOT

SURVEY DATUM

DESIGNER:
ROD LACASIA-BARRIOS
4 EL SERENO DR.
SAN CARLOS, CA
650 766-2463

STRUCTURAL ENGINEER:
TBD

REVISION	DATE	BY	DESC.
A	3/29/22	RLB	SMC COMMENTS #1

**779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE**

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SHEET TITLE

SITE PLAN

SCALE: AS SHOWN
ISSUE DATE: 12-14-2021
DRAWN BY: ROD LACASIA-BARRIOS
SHEET NO.: **A100**

SITE PLAN KEY NOTES

1. INSTALL NEW 6 FOOT TALL DEAR FENCING WITH 6"x6" STEEL WIRE MESH BETWEEN PT POSTS, AT 8-10 FOOT CENTERS, ALONG THE RIGHT PROPERTY LINE AND RIPARIAN BOUNDARY.
2. INSTALL A NEW REDWOOD GOOD-NEIGHBOR FENCE WITH A MAXIMUM 6-FT. HEIGHT AT THE REAR AND LEFT PROPERTY LINES W/GATE.
3. (N) SIDEWALK PER SMC DESIGN STANDARDS.
4. (N) SEWER LATERAL W/ C.O. PER SMC ENG. DETAILS WITHIN 5FT OF PL.
5. TWO NEW DEDICATED WATER METERS WILL BE REQUIRED. ONE FOR DOMESTIC CONSUMPTION, AND ONE FOR DEDICATED FIRE SPRINKLER SYSTEM OPERATION. PLANS AT THE TIME OF BUILDING PERMIT SUBMITTAL MUST SHOW FIRE SERVICE AND METER, AND DOMESTIC SERVICE AND METER PER COASTSIDE WATER DISTRICT STANDARDS CC-06 AND CC-18 AS APPLICABLE.
6. (E) WATER, SEWER, ELECT. IN STREET PER U.S.A. MARKINGS.
7. (N) COUNTY STANDARD ASPHALT DRIVEWAY APPROACH W/ DRAINAGE SWALE WITH A MIN. OF 2" ASPHALT CONCRETE OVER 6" CLASS 2 AGGREGATE BASE W/ A SLIGHT SWALE FOR BOTH DRIVEWAYS.
8. (E) CLAW 960 HYDRANT.
9. (N) 240 VAC POWER TO METER PANEL.
10. RESERVED
11. RETAINING WALL WITH 42" RAILING ABOVE GRADE WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART.
12. REDWOOD STAIRS/RAILINGS WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART. 36" MIN CLR WIDE STAIRS WITH HANDRAILS.
13. CHAPTER 3.3, SEC. 6119: 9'X19' ADU PARKING SPACE @ -507.0
14. (N) CONC. DRIVE WITH 1/2" PER FOOT SLOPE AWAY.
15. CONC. STEPS AT ENTRANCE WITH EQUAL RISE TO GRADE.
16. CONC. SLAB GARBAGE CAN STORAGE AREA WITH SLAB APPROXIMATELY @ -508.0 EVEN WITH GARAGE SLAB.
17. RAIL ROAD TIE STEPS.
18. FOR EXISTING CONTOURS, NEW GRADES, AND GRADING - REF. CIVIL PLANS.

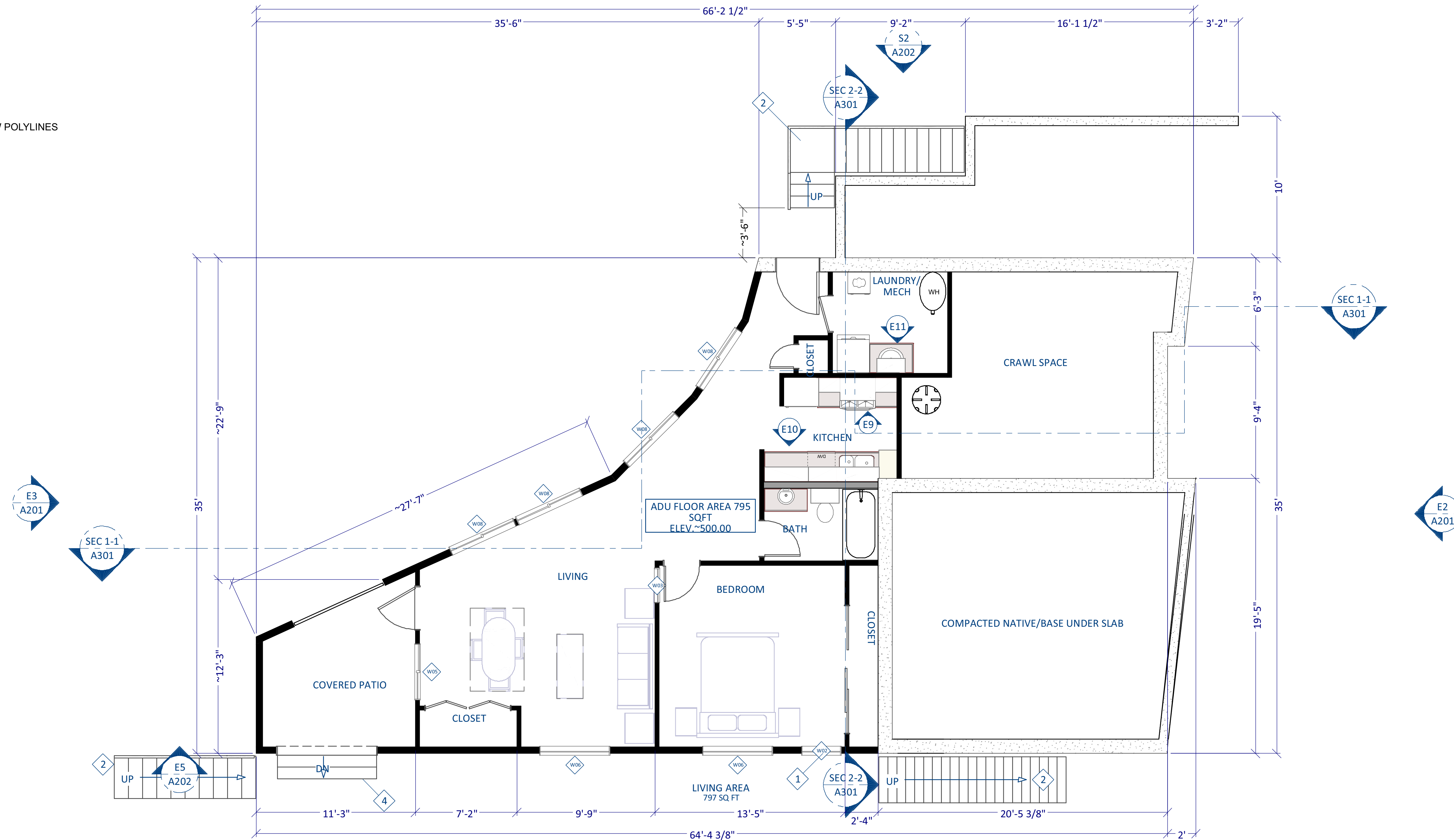


GENERAL CONDITIONS:

- 1 THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL INSPECTION.
- 2 ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. 5.0 SQ. FT. IS ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR. IDENTIFY RESCUE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS. INCLUDE IN BUILDING PLANS.
- 3 OCCUPANCY SEPARATION: PER THE 2016 CBC, SECTION 406.1.4, A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20-MINUTE FIRE RATED, SELF-CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED. PLANS AT THE BUILDING PERMIT APPLICATION STAGE SHALL INCLUDE LISTING AND CONSTRUCTION DETAILS. INSPECTIONS WILL OCCUR THROUGHOUT CONSTRUCTION AND PRIOR TO FIRE'S FINAL APPROVAL.

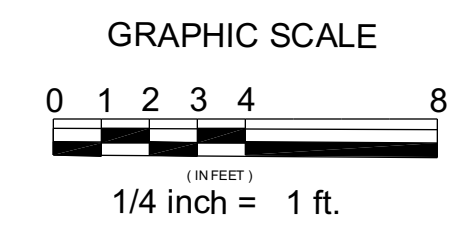
KEY FLOOR PLAN NOTES:

- 1 EGRESS WINDOW.
- 2 36" MIN. CLR. WIDTH
- 3 AREAS CALCULATED USING CAD S/W POLYLINES
- 4 CONCRETE STEPS



1 ADU Grade Level Floor Plan (795 sqft)

scale 1/4" = 1'-0"



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STRUCTURAL ENGINEER:
TBD

ENERGY CALCS:
TBD

REVISION	DATE	BY	DESC.

**779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE**

ADU FLOOR PLAN

SHEET TITLE

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SCALE: AS SHOWN

ISSUE DATE: 12-14-2021

DRAWN BY: ROD LACASIA-BARRIOS

SHEET NO. A101

KEY FLOOR PLAN NOTES:

- 1 EGRESS WINDOW.
- 2 36" MIN. CLR. WIDTH
- 3 AREAS CALCULATED USING CAD S/W POLYLINES
- 4 CONCRETE STEPS

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FIRST FLOOR PLAN

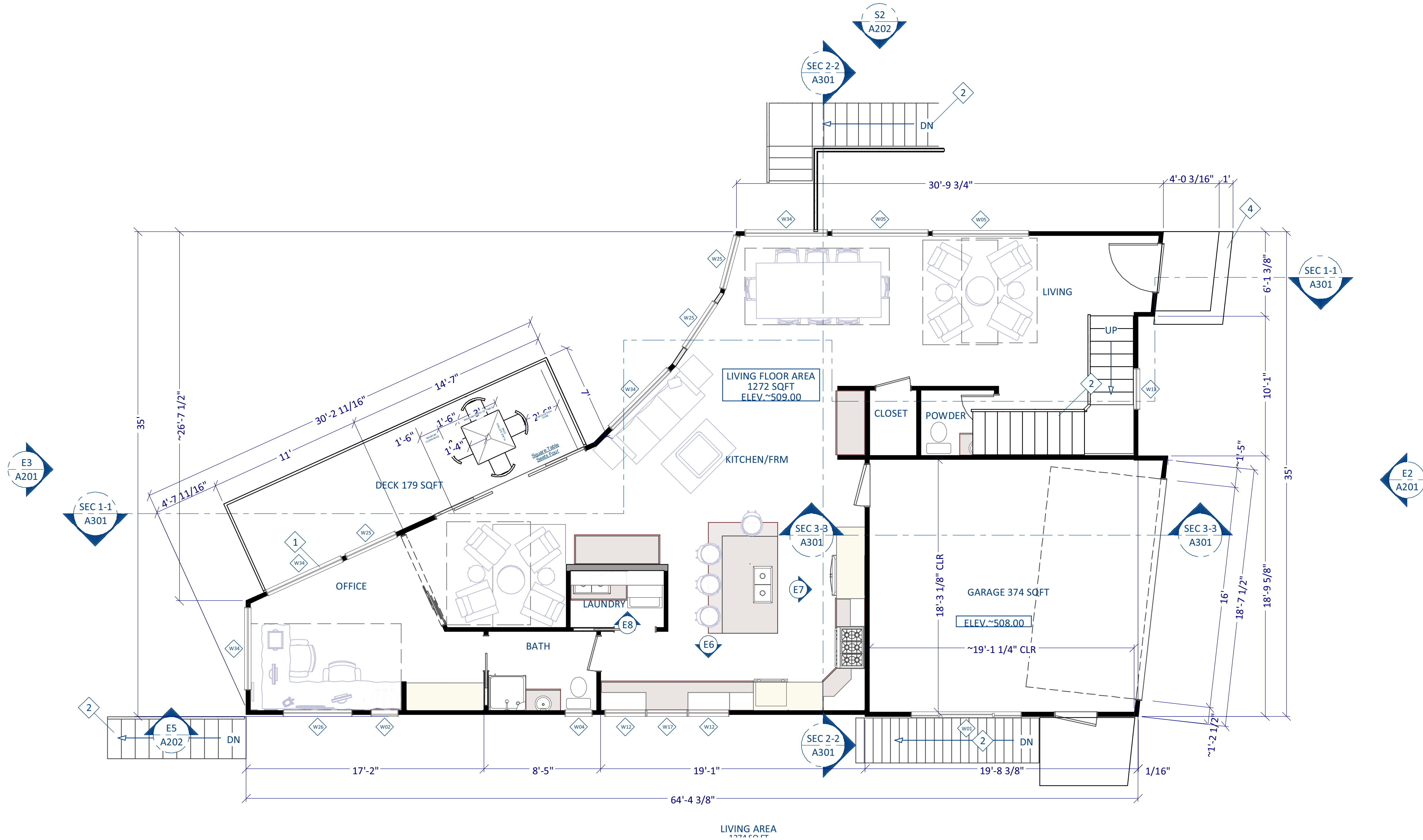
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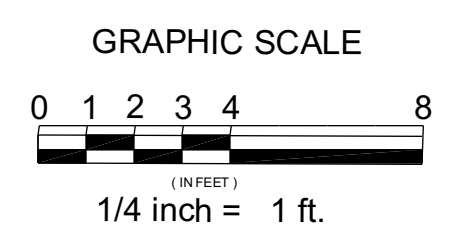
ISSUE DATE: 12-14-2021

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SHEET NO.
A102



1 Street Level Floor Plan (1278 sqft)
scale 1/4" = 1'-0"



KEY FLOOR PLAN NOTES:

- 1 EGRESS WINDOW.
- 2 36" MIN. CLR. WIDTH
- 3 AREAS CALCULATED USING CAD S/W POLYLINES
- 4 CONCRETE STEPS

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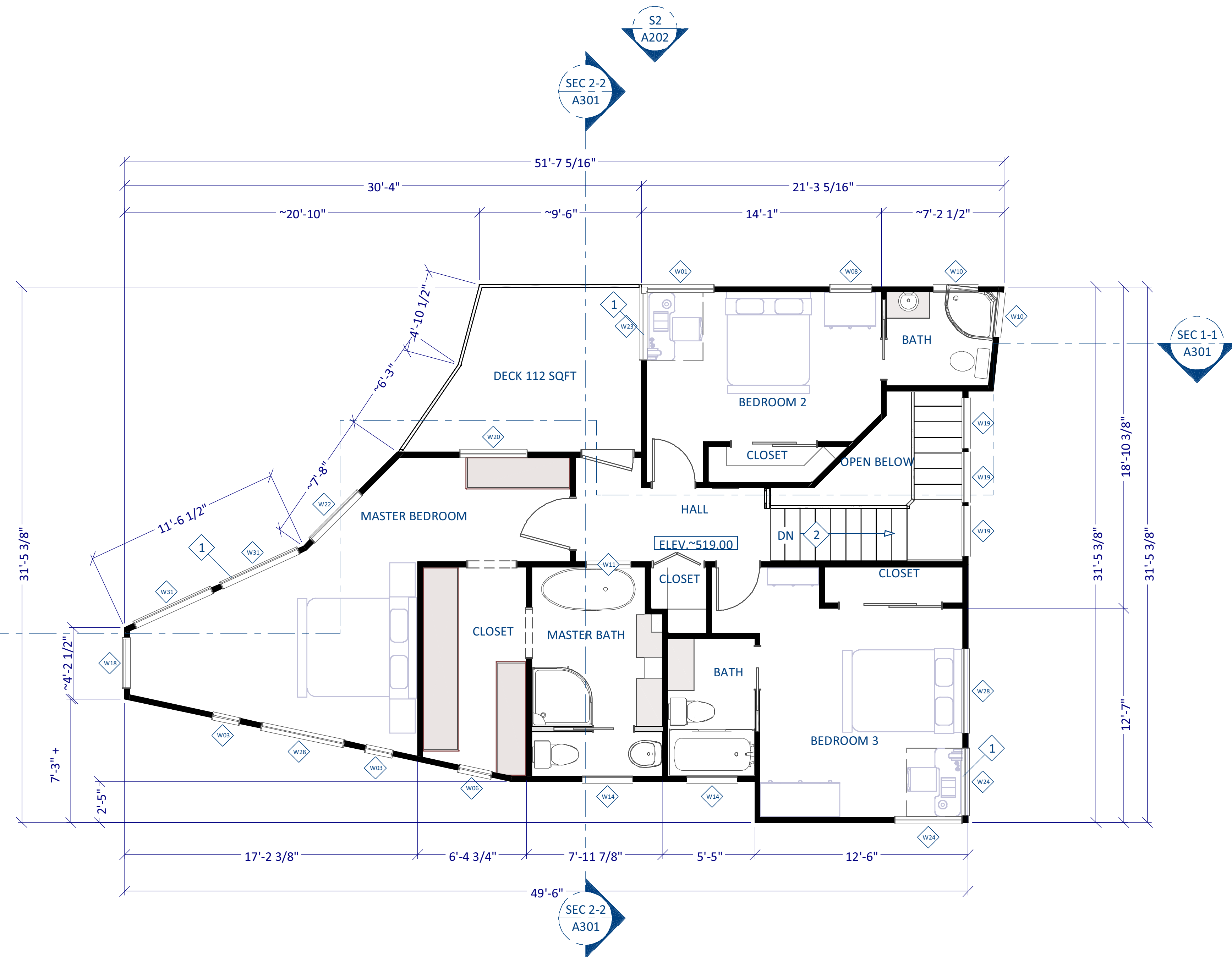
**SECOND FLOOR
PLAN**

SCALE: AS SHOWN

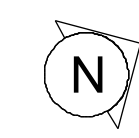
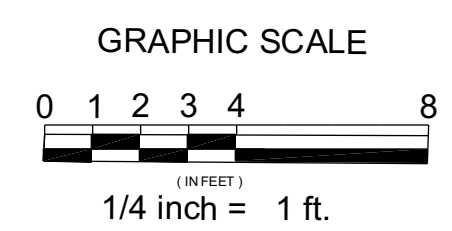
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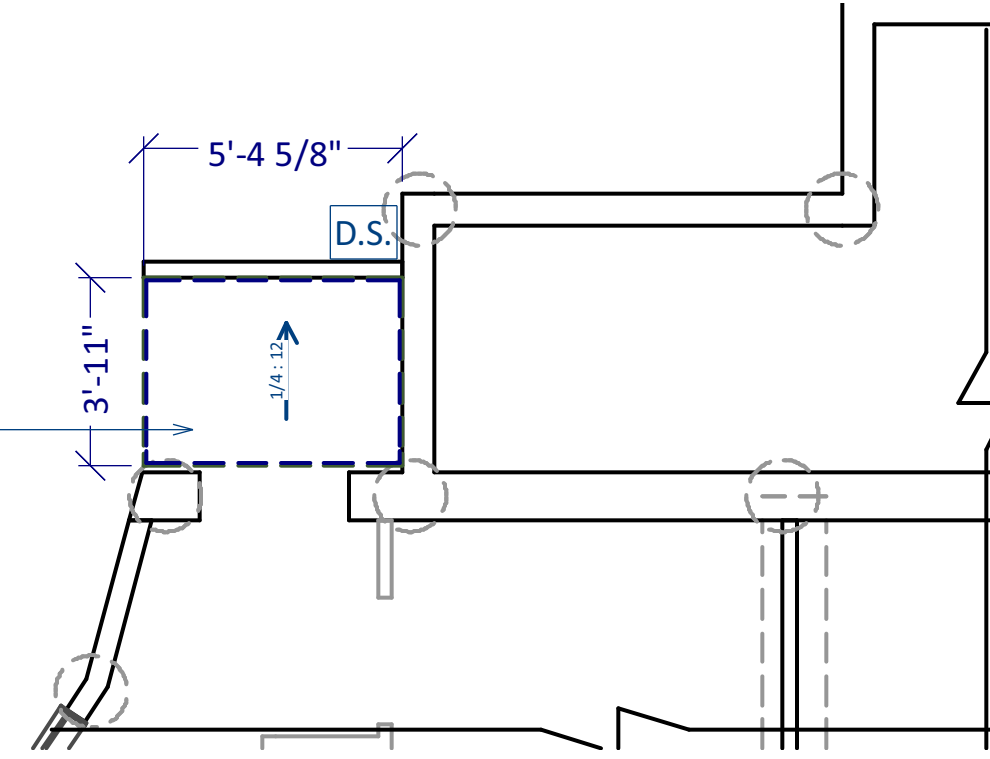
2 Upper Level Floor Plan (948 sqft)
scale 1/4" = 1'-0"



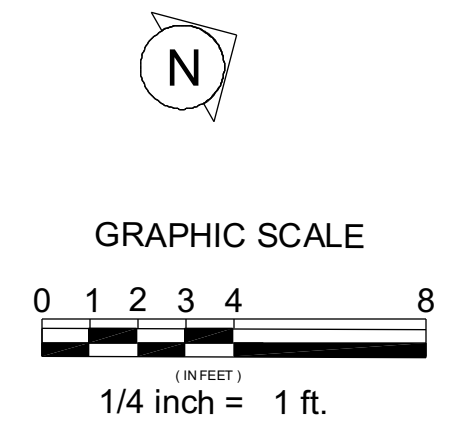
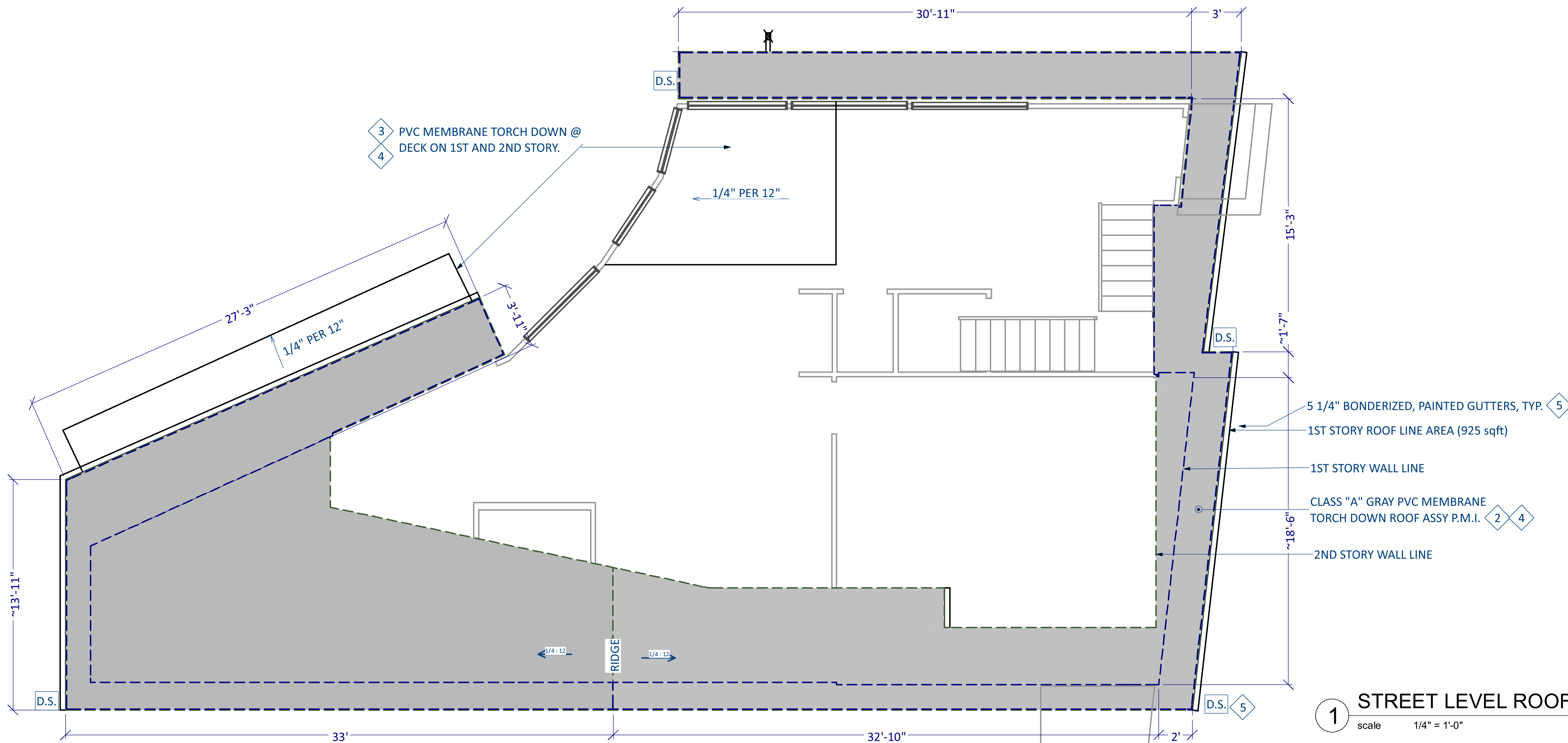
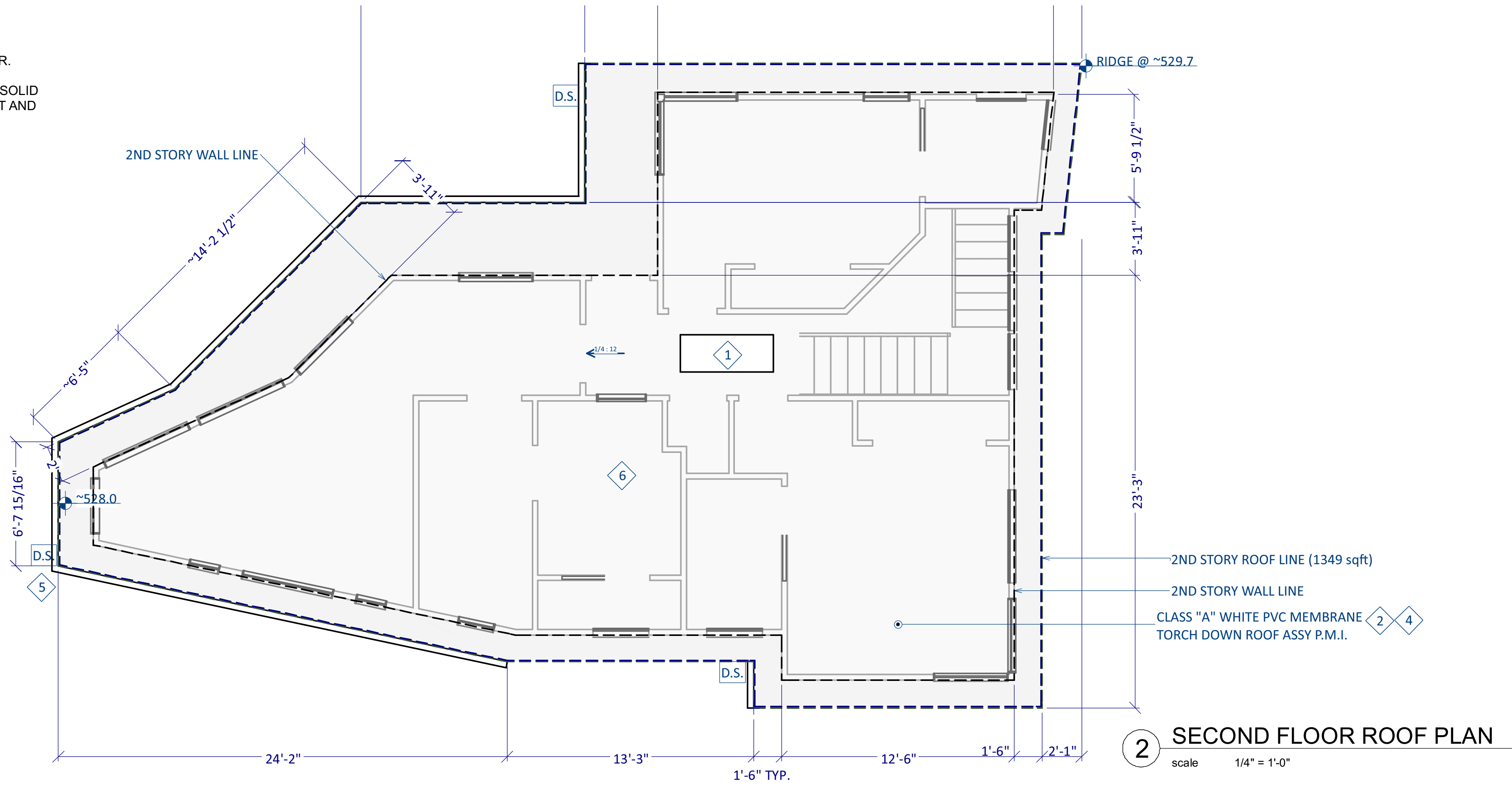
KEY ROOF PLAN NOTES:

- 1 24" X 60" SKYLIGHT
- 2 GRAY 50 MIL IB SYSTEMS PVC SINGLE PLY CLASS "A" ROOF SYSTEM. GRAY AT LOWER, WHITE AT UPPER.
- 3 60MIL, GRAY IB PVC SINGLE PLY DECK SHIELD ROOF SYSTEM, WITH 1/4" RIGID BOARD TAPER SYSTEM SOLID ADHERED TO THE 1/4" SECUROCK COVER BOARD, AS PER MANUFACTURE'S SPECIFICATIONS AT BOTH FIRST AND SECOND STORY DECKS.
- 4 1/4" SECUROCK CLASS "A" ROOF COVER BOARD SYSTEM OVER PLYWOOD DECK SUBSTRATE.
- 5 BONDERIZED 5 1/4" FASCIA GUTTERS WITH 2 1/4" X 1 3/4" RECTANGLE DOWNSPOUTS.
- 6 PV SOLAR PANELS WITH 36" CLEAR WALKWAY ALL AROUND

- 2 CLASS "A" PVC MEMBRANE TORCH DOWN ROOF ASSY P.M.I.
- 4



3 ADU ENTRANCE ROOF PLAN
scale 1/4" = 1'-0"



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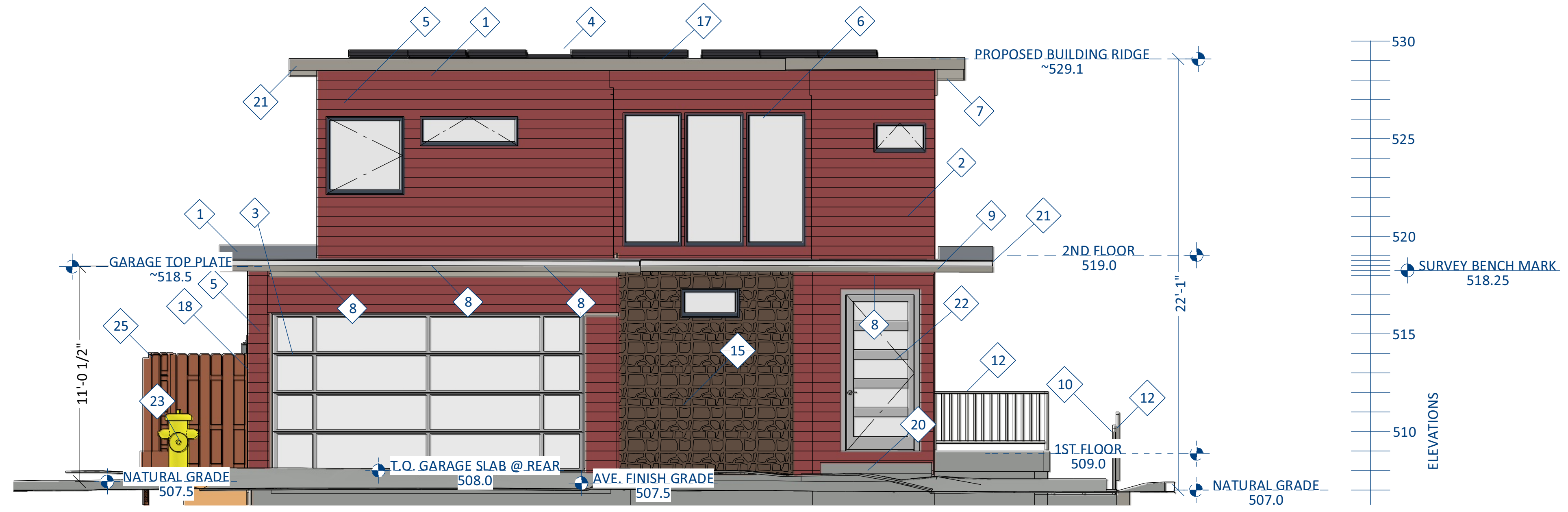
ROOF PLANS

SCALE: AS SHOWN
ISSUE DATE: 12-14-2021
DRAWN BY: ROD LACASIA-BARRIOS
SHEET NO.: A104

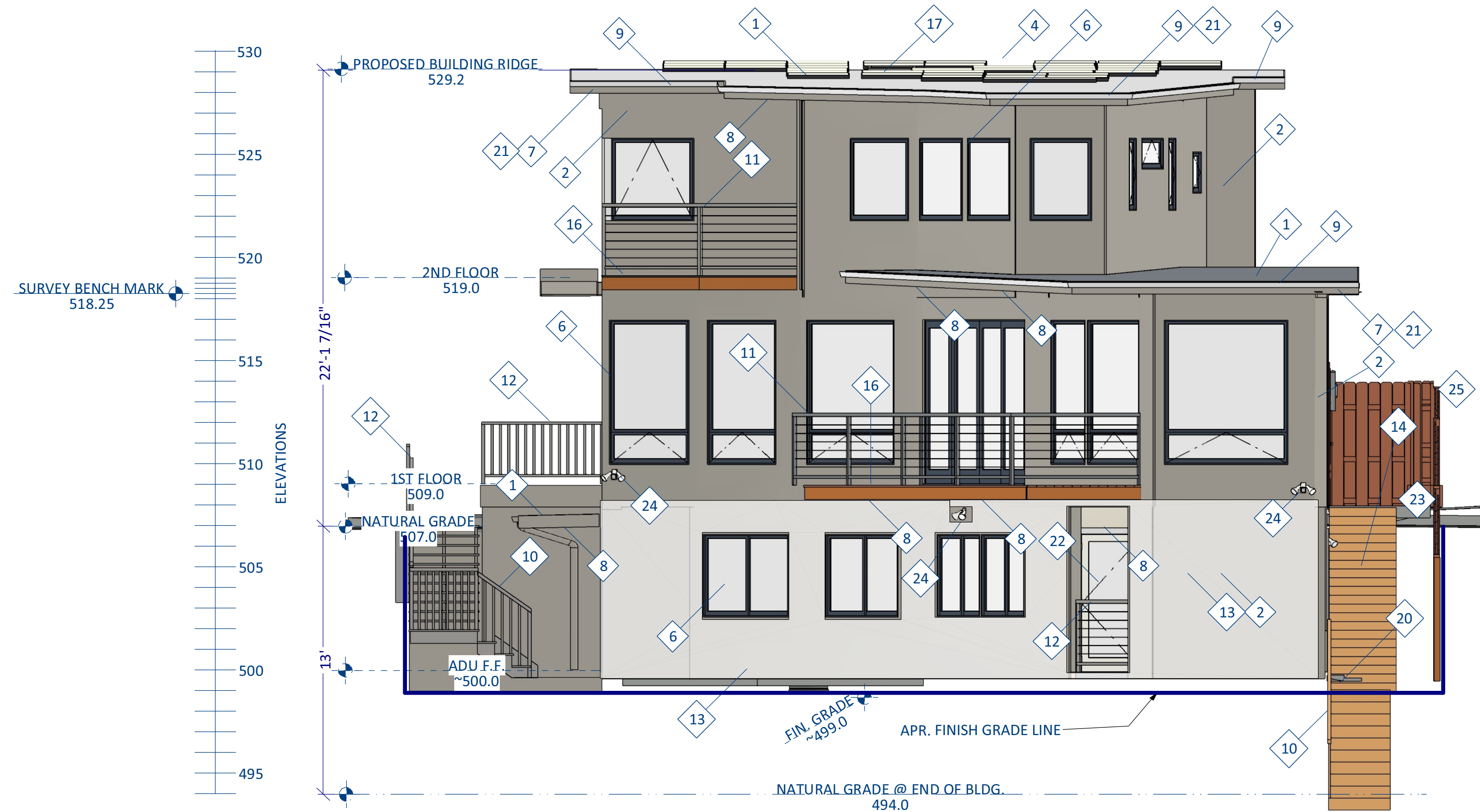
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EXTERIOR ELEVATIONS FINISH SCHEDULE

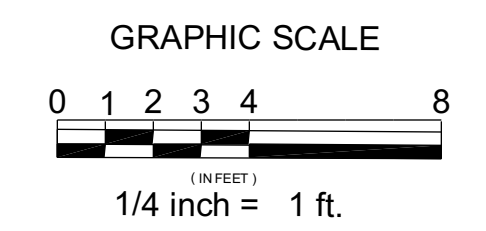
- 1 50 MIL IB SYSTEMS PVC SINGLE PLY CLASS "A" ROOF SYSTEM, GREY LOWER WHITE UPPER., REF ROOF PLAN.
- 2 7/8" STUCCO OVER LATH WITH DOUBLED "D" PAPER OVER 1/2" SHEATHING.
- 3 TEMPERED GLASS 8FT X16FT GARAGE DOOR.
- 4 SOLAR PANEL ARRAY FOR APPROXIMATE NET ZERO.
- 5 SQUARE EDGE, 1"X6" JAMESHARDIE SIDING OVER TYVEK AND 1/2" SHEATHING.
- 6 MILGARD DARK VINYL WINDOWS, CLEAR VIEW SERIES, TYP.
- 7 SOFFITED EAVES WITH LINEAR VENTS, TYP.
- 8 UNDER SOFFIT RECESSED "DARK SKY" LED LIGHTING, TYP AT ALL EXTERIOR.
- 9 5 1/4" GALV. GUTTER AND DOWNSPOUTS CONNECTED TO ON SITE DRY WELL FOR DRAINAGE CONTROL.
- 10 36" REDWOOD STAIRS/RAILINGS WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART, 36" MIN CLR WIDTH.
- 11 42" TALL GUARD RAIL WITH STAINLESS STEEL CABLING AND POSTS, WITH MAX. 4" CABLE SEPARATION.
- 12 42" REDWOOD RAILINGS WITH VERTICAL BALUSTERS NOT MORE THAN 4" APART.
- 13 SHADING USED TO ISOLATE AND INDICATE ADU STRUCTURE.
- 14 RAIL ROAD TIE STEPS, 36" MIN CLR WIDTH.
- 15 MT. MORIAH 1" NOMINAL STONE VENEER - DIAMOND BACK PATTERN INSTALLED P.M.I.
- 16 60 MIL IB SYSTEMS PVC SINGLE PLY CLASS "A" DECK SYSTEM. REF ROOF PLAN.
- 17 SKYLIGHT WITH 6" CURB.
- 18 (N) ELECTRIC METER
- 19 TBD
- 20 CONC STEPS WITH EQ. RISE
- 21 2X12 FASCIA BOARD
- 22 TEMPERED GLASS
- 23 CLAW 960 FH
- 24 EMERGENCY SECURITY SPOTLIGHTS ON MOTION DETECTOR WITH MANUAL OVERRIDE
- 25 (N) REDWOOD FENCING TO MATCH (E)



2 FRONT ELEVATION (NE)
scale 1/4" = 1'-0"



1 REAR ELEVATION (SW)
scale 1/4" = 1'-0"



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STRUCTURAL ENGINEER:
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ENERGY CALCS:
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A	3/29/2022	RLB	SWC PING COMMENT 1

**779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE**

N / S ELEVATIONS

SHEET TITLE

SCALE: 1/4"=SHOWN

ISSUE DATE: 12-14-2021

DRAWN BY: ROD LACASIA-BARRIOS

SHEET NO. A201

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779 SAN CARLOS AVE
 EL GRANADA, CALIFORNIA
 NEW RESIDENCE

CROSS SECTIONS

SHEET TITLE

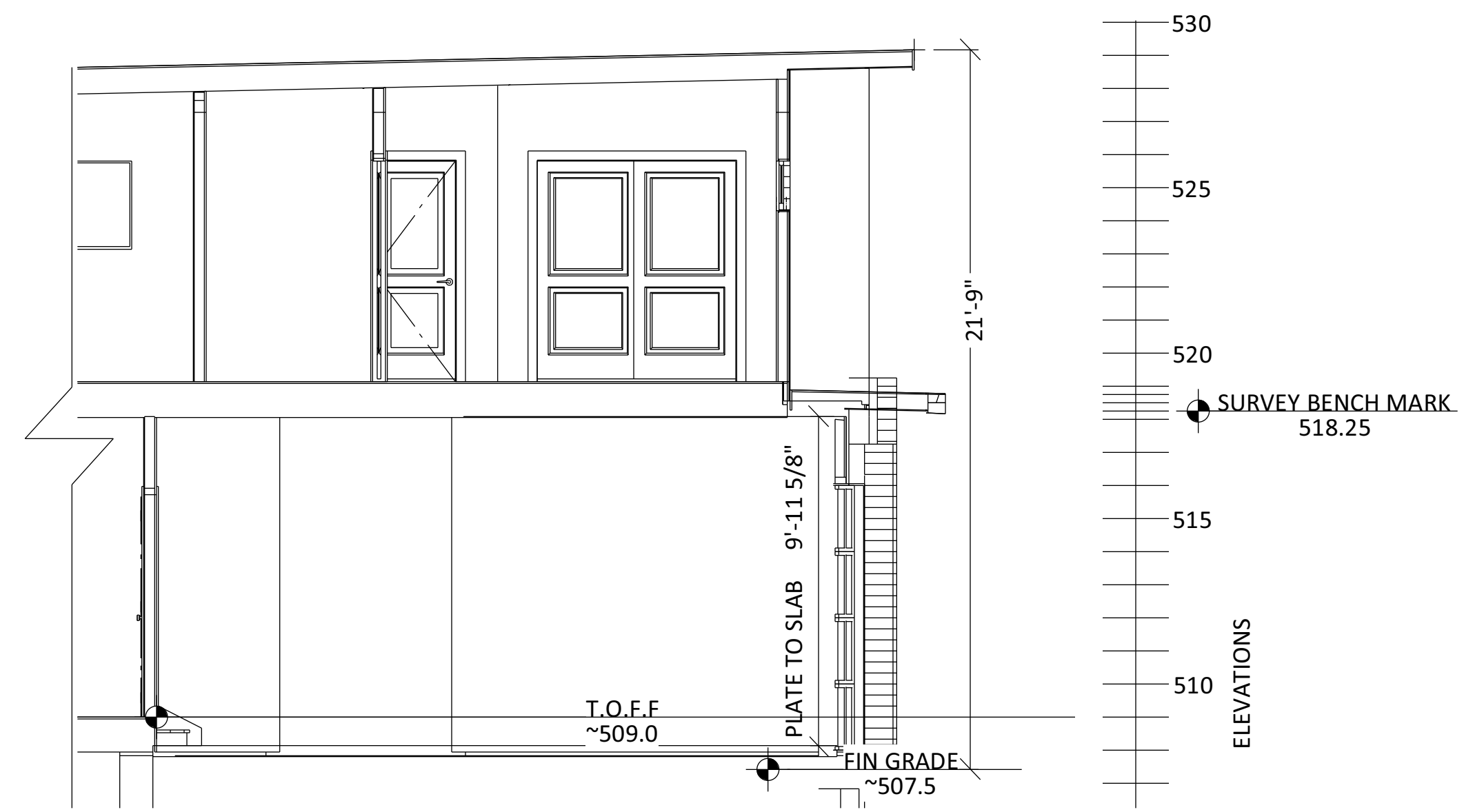
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ISSUE DATE: 12-14-2021

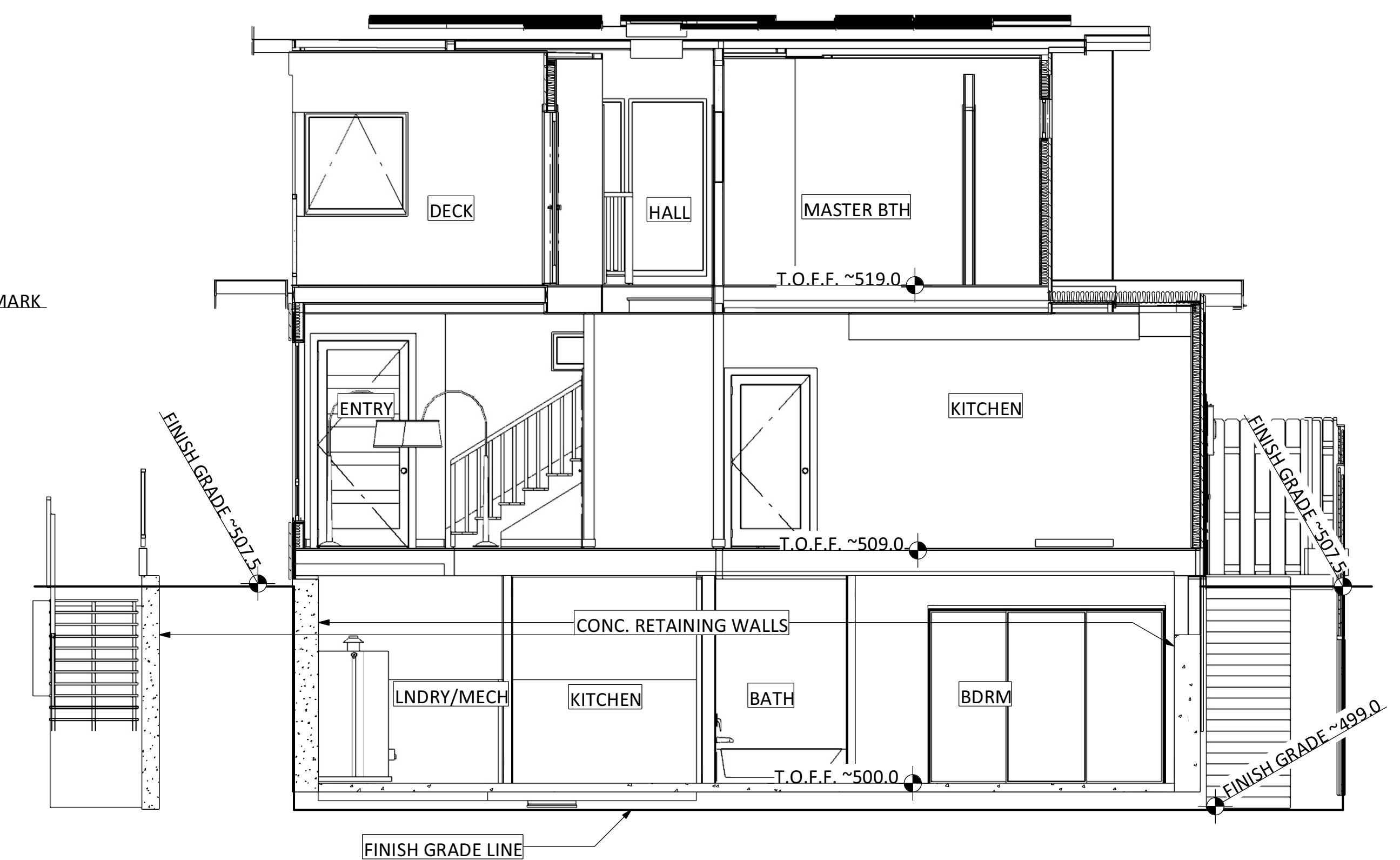
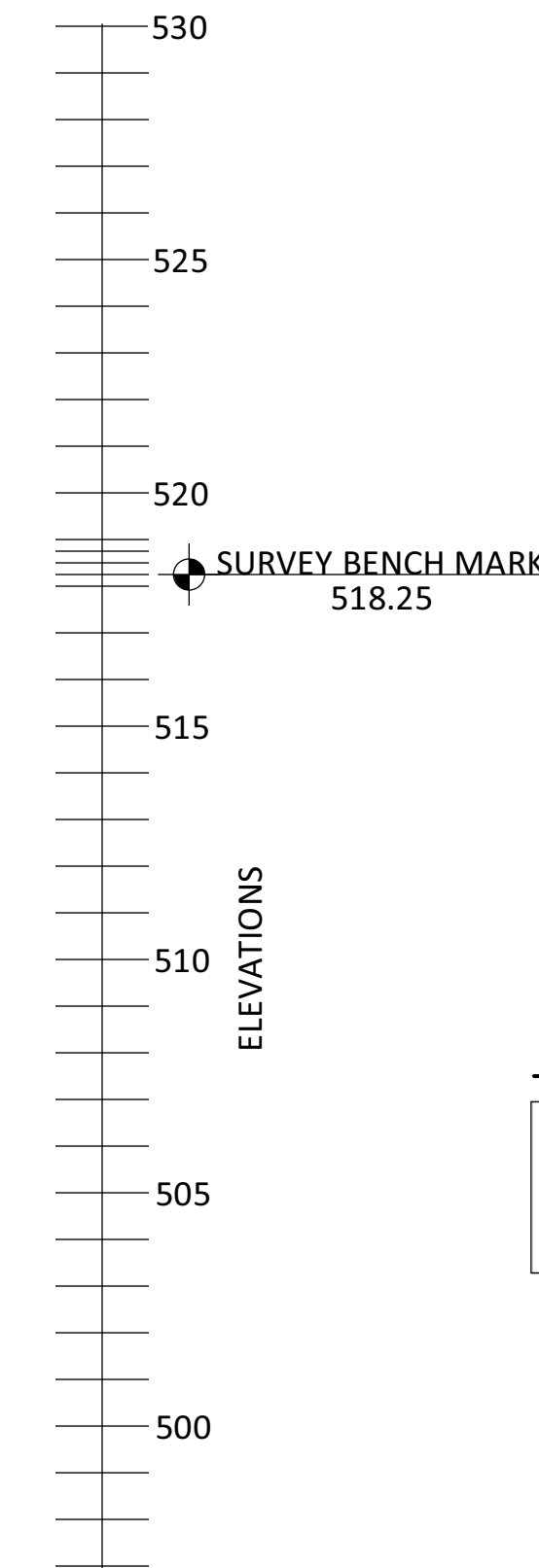
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SHEET NO. A301

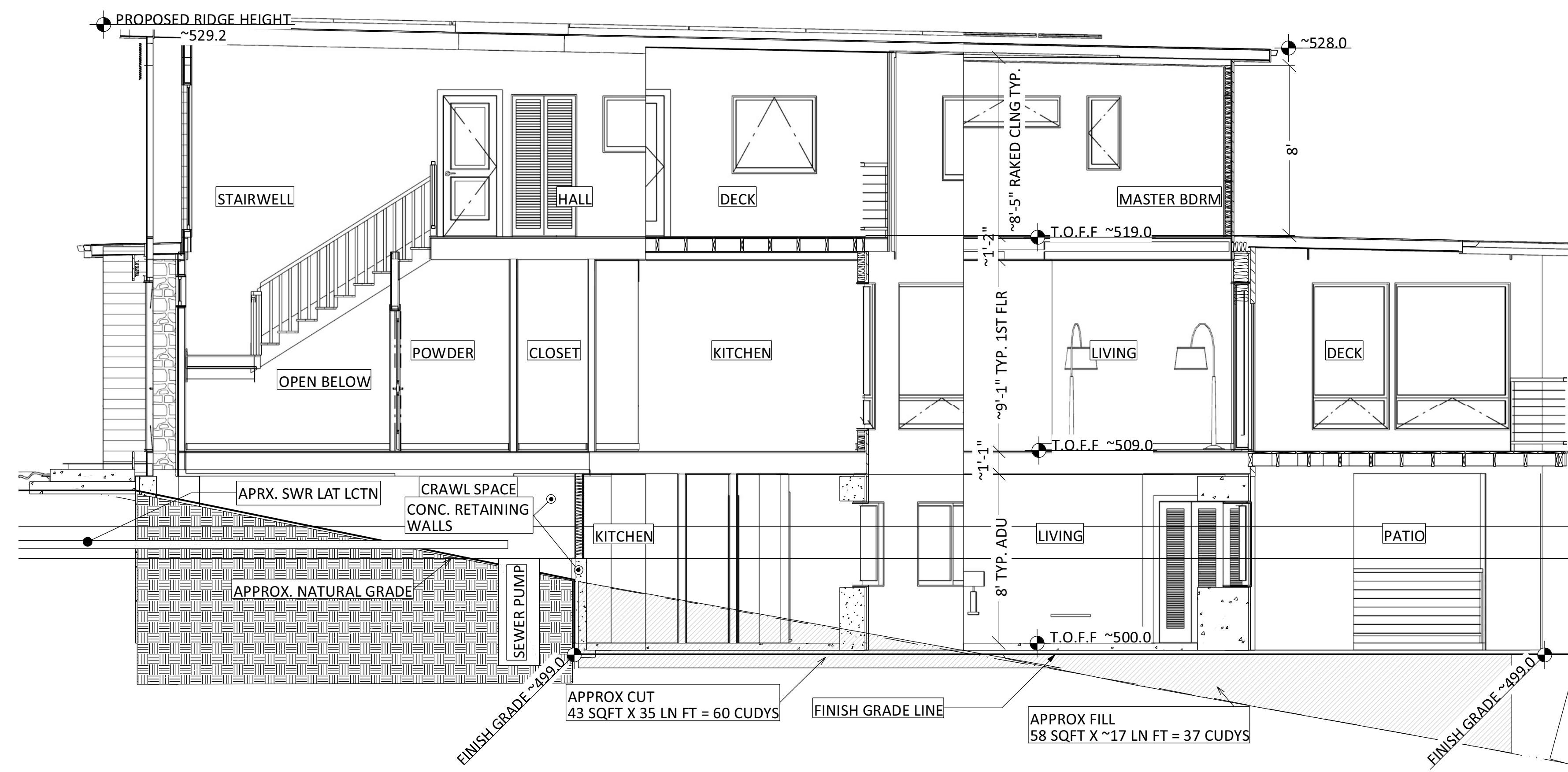
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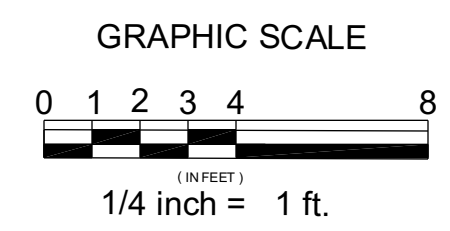
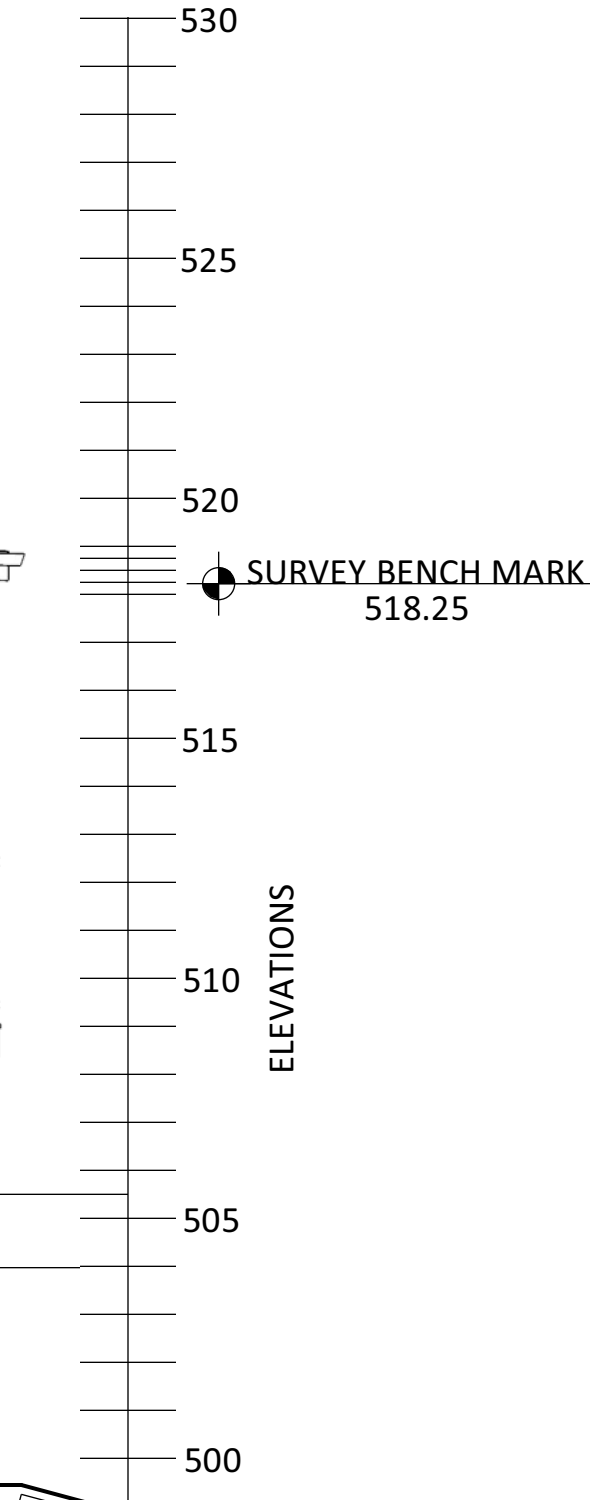
2 CROSS SECTION 3-3
 Scale 1/4" = 1'-0"



2 CROSS SECTION 2-2
 Scale 1/4" = 1'-0"

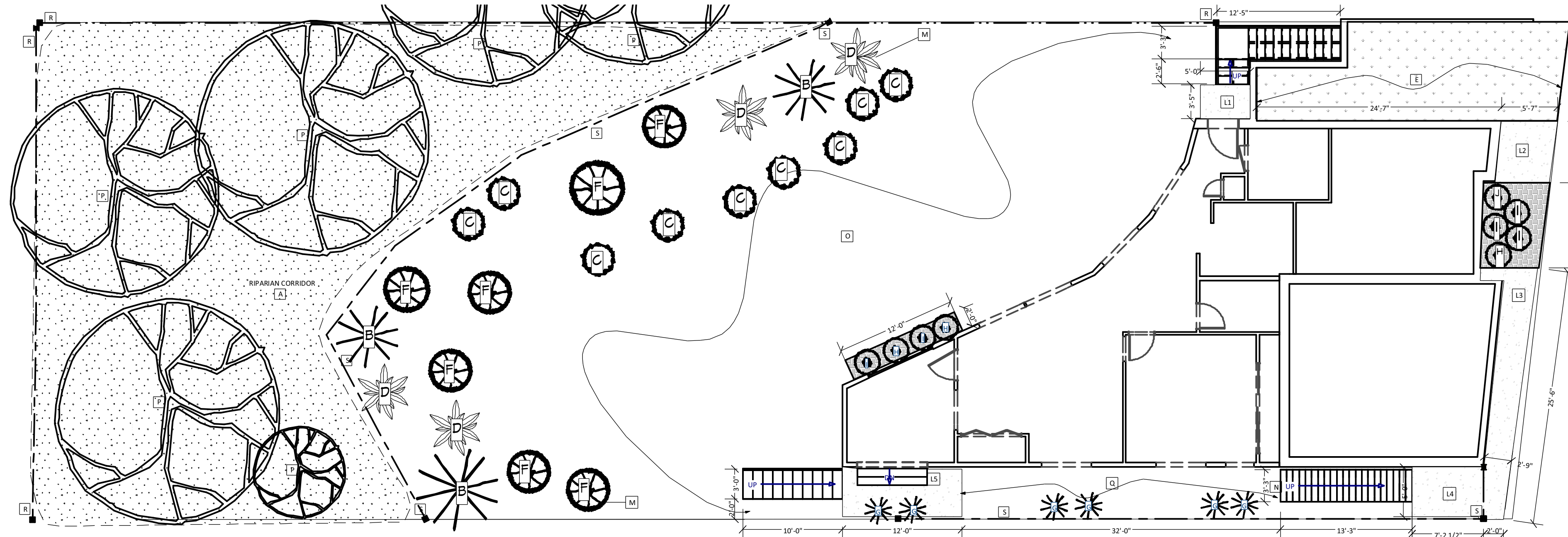


1 LONGITUDINAL SECTION 1-1
 Scale 1/4" = 1'-0"



LEGEND

- A RIPARIAN CORRIDOR**
- B HOWARD MCMINN MANZANITA, 1 GAL - 3EA.**
- C WESTRINGIA FRUCTICOSA "GREY BOX" 1 GAL - 9 EA.**
- D CEANOTHUS "DARK STAR", 1 GAL - 5 EA.**
- E PARKING AREA, DYMONDIA GROUND COVER, 5 FLATS**
- F LUPINUS ALBIFRONS "SILVER LUPINE", 1 GAL - 6EA.**
- G PODOCARPUS GRACILIOR "COLUMNAR", 1 GAL - 6 EA.**
- H GREVILLEA LANIGERA "COASTAL GEM", QUART-3 EA.**
- I TEUCRIUM MAJORICUM "DWARF", QUART - 4EA.**
- J CORREA "DUSKY BELLS", QUART - 1EA.**
- K IMPERVIOUS PAVERS**
- LX CONCRETE FLAT WORK**
- M CONTINUOUS NETAFIN DRIP IRRIGATION TO ALL PLANTS WITH A RING OF THREE DRIPPERS PER PLANT ON A WELO COMPLIANT, PRESSURE REGULATED MAINLINE/MANIFOLD CONTROL SYSTEM.**
- N RAILROAD TIES**
- O RIPARIAN BUFFER ZONE**
- P ARROYO & SITKA WILLOW TREES IN RIPARIAN AREA**
- Q COMPACTED OYSTER SHELL**
- R DEER FENCING, 6"x6" WIRE MESH BETWEEN POSTS @8-10 FT. WITH RAILS AND TOE BOARD**
- S 6 FT TALL REDWOOD FENCING.**



1 LANDSCAPE PLAN
Scale: 1" = 8'-0"

GENERAL NOTES

1. THE RIPARIAN AREA ON THE SITE CONSISTS OF MAINLY ARROYO WILLOW (SALIX LASIOLEPIS), SITKA WILLOW (SALIX SITCHENSIS), AND PINK-FLOWERING CURRENT (RIBES SANGUINEUM VAR. GLUTINOSUM). ALL THREE SPECIES ARE GROWING NATURALLY ON THE WEST SIDE OF THE PROPERTY WITHIN THE RIPARIAN CORRIDOR, AND WITHIN THE ADJACENT MONTECITO RIPARIAN CORRIDOR WEST OF THE PROPERTY. OTHER NATIVE PLANT SPECIES OBSERVED GROWING WITHIN THE RIPARIAN CORRIDOR INCLUDE TWINBERRY (LONICERA INVOLUCRATA VAR. LEDEBOURII), THIMBLEBERRY (RUBUS PARVIFLORUS), CALIFORNIA BLACKBERRY (RUBUS URSINUS), POISON OAK (TOXICODENDRON DIVERSILOBUM), AND CALIFORNIA BEE PLANT (SCROPHULARIA CALIFORNICA). ALL OF THESE PLANTS ARE NATIVE, AND TYPICAL OF RIPARIAN CORRIDOR HABITATS IN COASTAL SAN MATEO COUNTY. THIS INFORMATION IS PROVIDED FROM BIOLOGICAL REPORT CONDUCTED BY COAST RIDGE ECOLOGY FEBRUARY IN 2020.
2. REMOVE (E) NON RIPARIAN DENSE BRUSH AT THE IMMEDIATE CONSTRUCTION AREA.
3. THERE ARE NO EXISTING TREES ON THE PROPERTY OUTSIDE OF THE RIPARIAN AREA. THEREFORE NO TREE PROTECTION PLAN IS INCLUDED IN THE SUBMITTAL.
4. NO LANDSCAPING IN THE PUBLIC RIGHT OF WAY.
5. IMPERVIOUS PAVERS SET OVER LEVELING SAND, SET OVER GEOTECH MATERIAL AND 8" OF COMPACTED BASE ROCK P.M.I. SLOPE AWAY FROM STRUCTURE ALL AROUND AT A 2% GRADE MIN.
6. NO WORK TO BE DONE WITHIN THE IDENTIFIED RIPARIAN BOUNDARY.
7. NEW FENCING ALONG NORTH-WEST BOUNDARY OF PROPERTY LINE WILL BE 6 FT TALL, 8FOOT LONG SECTIONS WITH 6"x6" WIRE MESH DEER FENCING TO ALLOW FOR MIGRATION OF SMALL ANIMALS.
8. NEW REDWOOD FENCING TO MATCH (E) AT REAR AND LEFT SIDES OF PROPERTY. FENCING TO FOLLOW FINISHED GRADE.
9. LANDSCAPING SHALL UTILIZE NON-INVASIVE'S AT ALL LOCATIONS,
10. LANDSCAPE WATERING WILL BE PERFORMED WITH POTABLE WATER FROM THE COAST SIDE WATER DISTRICT, RESIDENTIAL SUPPLIER TO THE SITE.
11. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
12. MANUAL SHUT OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
13. TURF IN THE FRONT YARD PARKING AREA SHALL BE IRRIGATED WITH NETAFIN SUBSURFACE IRRIGATION WITH RUNS AT 6" CENTERS.
14. The landscape plan shall comply with the Water Efficient Landscape Ordinance (WELo):
 - a. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELo) and provide the required forms. WELo applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. WELo also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft. The following restrictions apply to projects using the prescriptive checklist:
 - (1) Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
 - (2) Plant Water Use (Residential): Install climate adapted plants that require occasional, little, or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.
 - (3) Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting ground covers, or direct seeding applications where mulch is contra indicated.
 - (4) Turf: Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways, is irrigated by subsurface irrigation or other technology that prevents over spray or runoff.
 - (5) Irrigation System: The property shall certify that irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents over spray or runoff.

WVELO SUBMITTAL CHECKLIST

Submitted Date: 11-15-2021
 Project Address: 777 San Carlos Ave., El Granada, CA
 Applicant Name: Rob Lacasia Phone: 650-746-2163
 The following checklist provides a list of information that must be included on the plans before your permit application can be processed. This checklist covers both the performance compliance method and the prescriptive compliance method. Please indicate which compliance method is used and provide the appropriate information on the plans.

Performance Approach Prescriptive Approach (Skip to Page Three)

PERFORMANCE APPROACH

Landscape Documentation Package (Title 23, Chapter 2.7.4492.1)
 The project's address, total landscape area, water supply type, and all contacts shall be stated on the plans.
 List, sign and date the following statement on the plans: "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."
 Water Efficient Landscape Worksheet that includes a hydrozone information table and water budget calculations shall be submitted for plan check.
 Landscape design plan and irrigation design plan shall be submitted for plan check.

Water Efficient Landscape Worksheet (Title 23, Chapter 2.7.4492.4 and 4492.13)
 Incorporate the Water Efficient Landscape Worksheet into plans. Show that the Maximum Applied Water Allowance (MAWA) meets or exceeds the calculated Estimated Total Water Use (ETWU).
 The evapotranspiration adjustment factor (ETAF) for the landscape shall not exceed a factor of 0.55 for residential areas (0.45 for non-residential areas).
 The plant factor used shall be from WUCOLS or from horticultural researchers with academic institutions. WUCOLS plant database can be found on line at <http://www.wateruse.org/WUCOLS>.
 All water features shall be included in the high water use hydrozone. All temporary irrigated areas shall be included in the low water use hydrozone.
 All Special Landscape Areas shall be identified on the plans. The ETAF for new and existing non-rehabilitated Special Landscape Areas shall not exceed 1.0.
 For the purpose of calculating ETWU, the irrigation efficiency is assumed to be 0.75 for overhead spray devices and 0.81 for drip system devices.

Landscape Design Plan (Title 23, Chapter 2.7.4492.6)
 The landscape design plans, at a minimum, shall:
 Delineate and label each hydrozone by number, letter, or other method.
 Identify each hydrozone as low, moderate, high water, or mixed water use.
 Identify residential areas, areas highly suitable to oyster shells, areas irrigated with recycled water, type and surface area of water features, impermeable and permeable landscape, and any infiltration systems.
 Use hydrozone with a mix of both low and moderate water use plants or both moderate and high water use plants, the higher plant factor or the plant factor based on the proportions of the respective plant water use shall be used. Hydrozones containing a mix of low and high water use plants is not permitted.

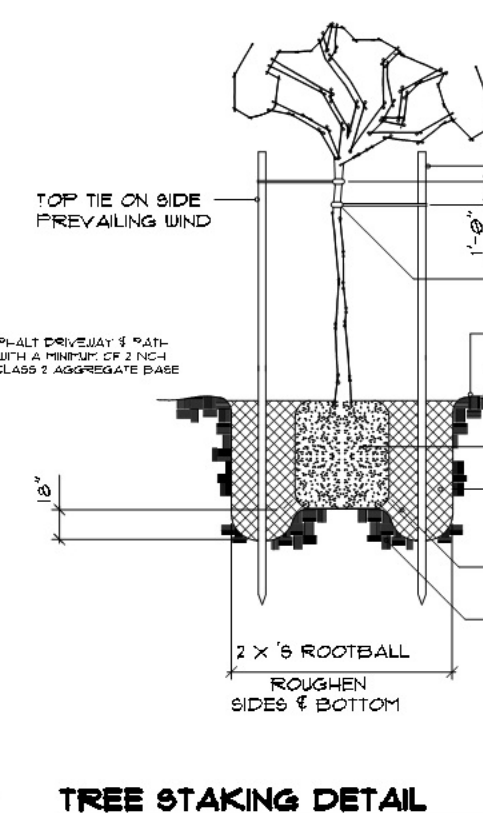
PRESCRIPTIVE APPROACH

(For landscape areas between 500 and 2,499 square feet)
Plant Material (Title 23, Chapter 2.7, Appendix D (b) (3))
 For residential areas, 75% of landscape, excluding walkways and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3. WUCOLS plant database can be found online at <http://www.wateruse.org/WUCOLS>.
 For non-residential areas, 100% of the plants, excluding walkways and areas using recycled water, shall consist of plants that average a WUCOLS plant factor of 0.3.
 Add note to plans: "A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contra-indicated."
Turf (Title 23, Chapter 2.7, Appendix D (b) (4))
 Turf shall not exceed 25% of the landscape area in residential areas.
 Turf shall be permitted in non-residential areas.
 Turf shall be permitted on slopes greater than 25%.
 Turf is prohibited in parkways less than 10 feet wide.

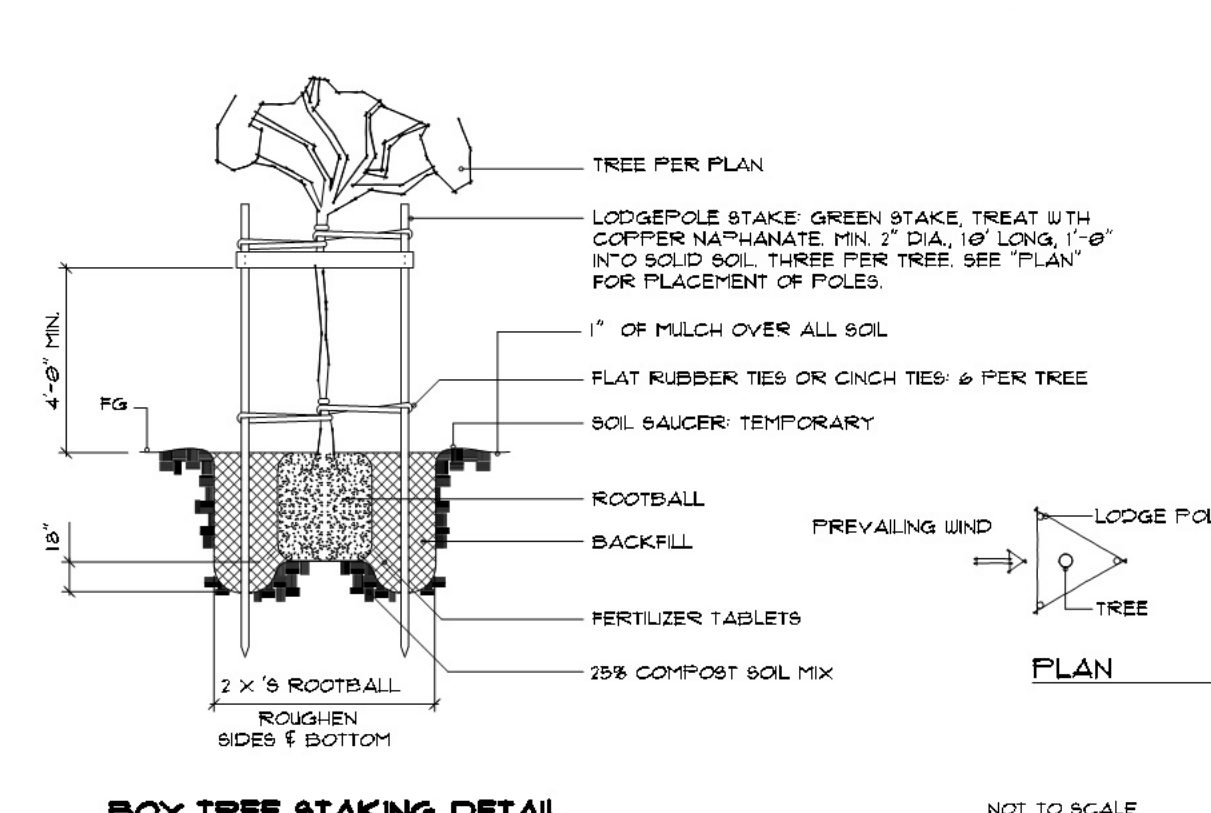
Irrigation (Title 23, Chapter 2.7, Appendix D (b) (5))
 Automatic weather-based or soil-moisture based irrigation controllers shall be installed on the irrigation system.
 Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.
 Manual shut off valves shall be installed as close as possible to the point of connection of the water supply.
 Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overwater.
 For non-residential projects with landscape areas of 1,000sqft or more, private sub-meter(s) to measure landscape water use shall be installed.
 Add note to plans: "At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance."
 Add note to plans: "Unless contradicted by a soil test, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil."

IDENT	LANDSCAPING AREA	LENGTH (FT)	WIDTH (FT)	AREA (SQFT)
H,I,J	PLANTER AREA @ FRONT	8.5	6	51
E	PARKING PAD	10.0	26.5	265
I,H	REAR PLANTING BED	12.0	2.0	24
Q	LEFT WALKING PATH	32	5	160
	TOTAL (SQFT)			500

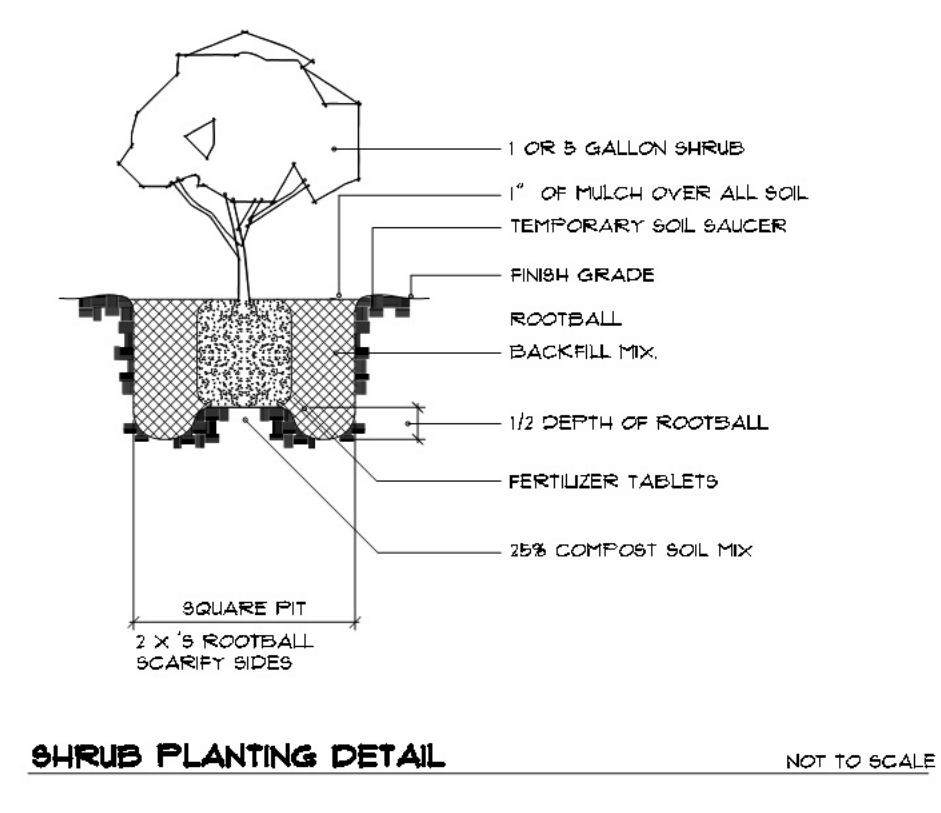
IDENT	IMPERVIOUS AREA <18"	LENGTH (FT)	WIDTH (FT)	AREA (SQFT)
L1	CONCRETE FLAT WORK	5	3.5	18
L2	CONCRETE FLAT WORK	5.7	6.2	35
L3	CONCRETE FLAT WORK	25.8	2.8	72
L4	CONCRETE FLAT WORK	7.2	5.0	36
L5	CONCRETE FLAT WORK	12.0	5.0	60
N	RAILROAD TIES	20.6	3.3	68
	TOTAL (SQFT)			289



TREE STAKING DETAIL NOT TO SCALE



BOX TREE STAKING DETAIL NOT TO SCALE



SHRUB PLANTING DETAIL NOT TO SCALE



DESIGNER:
 ROD LACASIA-BARRIOS
 4 EL SERENO DR.
 SAN CARLOS, CA
 650 766-2463

STRUCTURAL ENGINEER:
 TBD

ENERGY CALCS:
 TBD

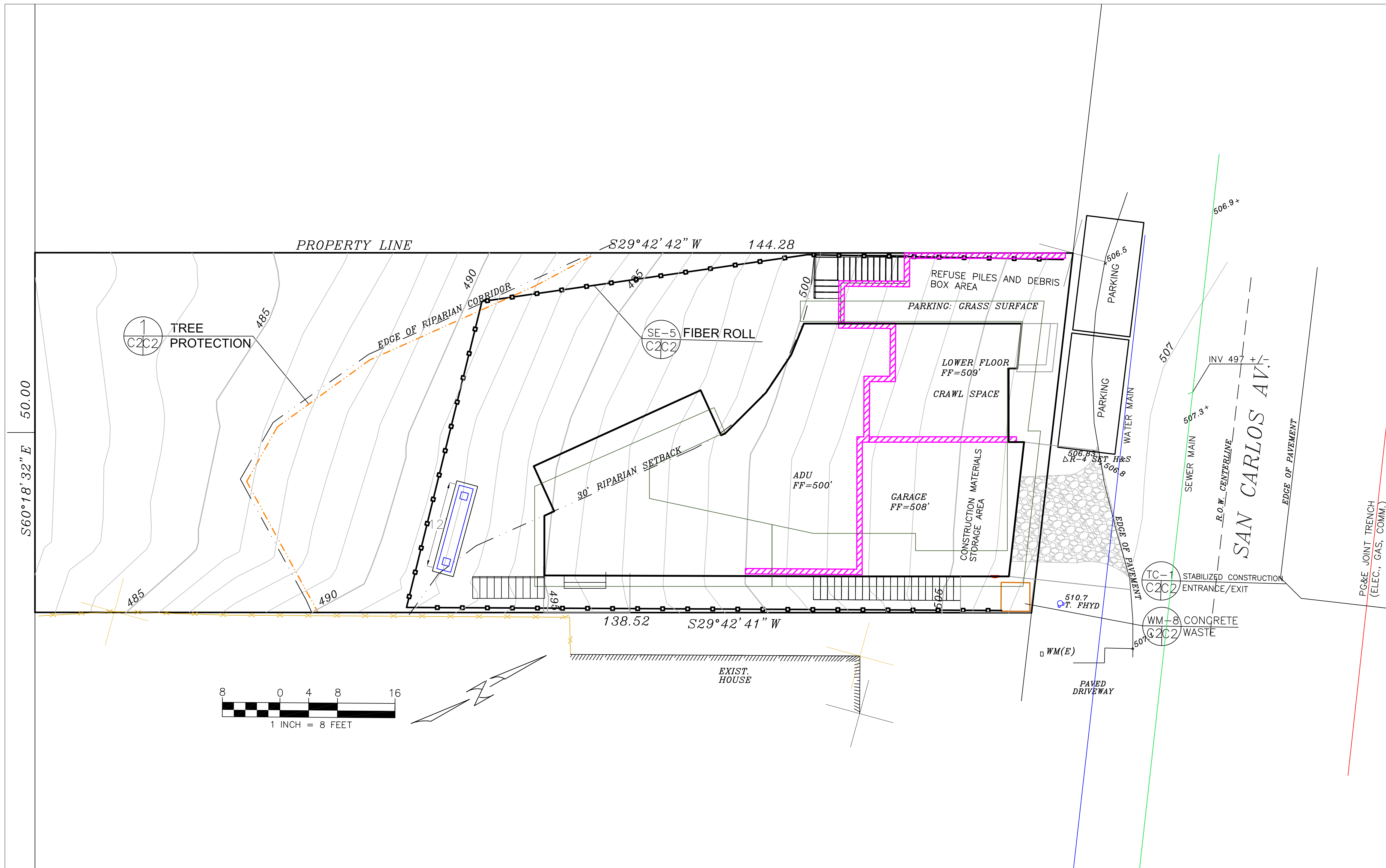
REVISION	DATE	BY	DESC.
A	3/28/2022	RLB	SNC PLING COMMENT 1

779 SAN CARLOS AVE
EL GRANADA, CALIFORNIA
NEW RESIDENCE

LANDSCAPE PLAN
 SHEET TITLE

SCALE: AS SHOWN
 ISSUE DATE: 12-14-2021
 DRAWN BY: ROD LACASIA-BARRIOS
 SHEET NO.: L-100

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GENERAL EROSION AND SEDIMENT CONTROL NOTES

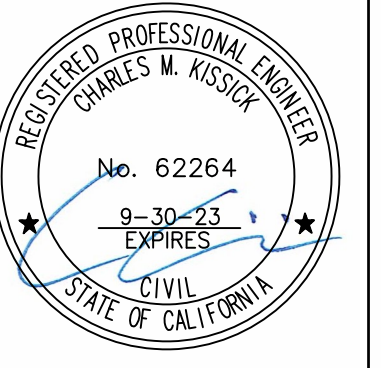


- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and held.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

EROSION CONTROL POINT OF CONTACT

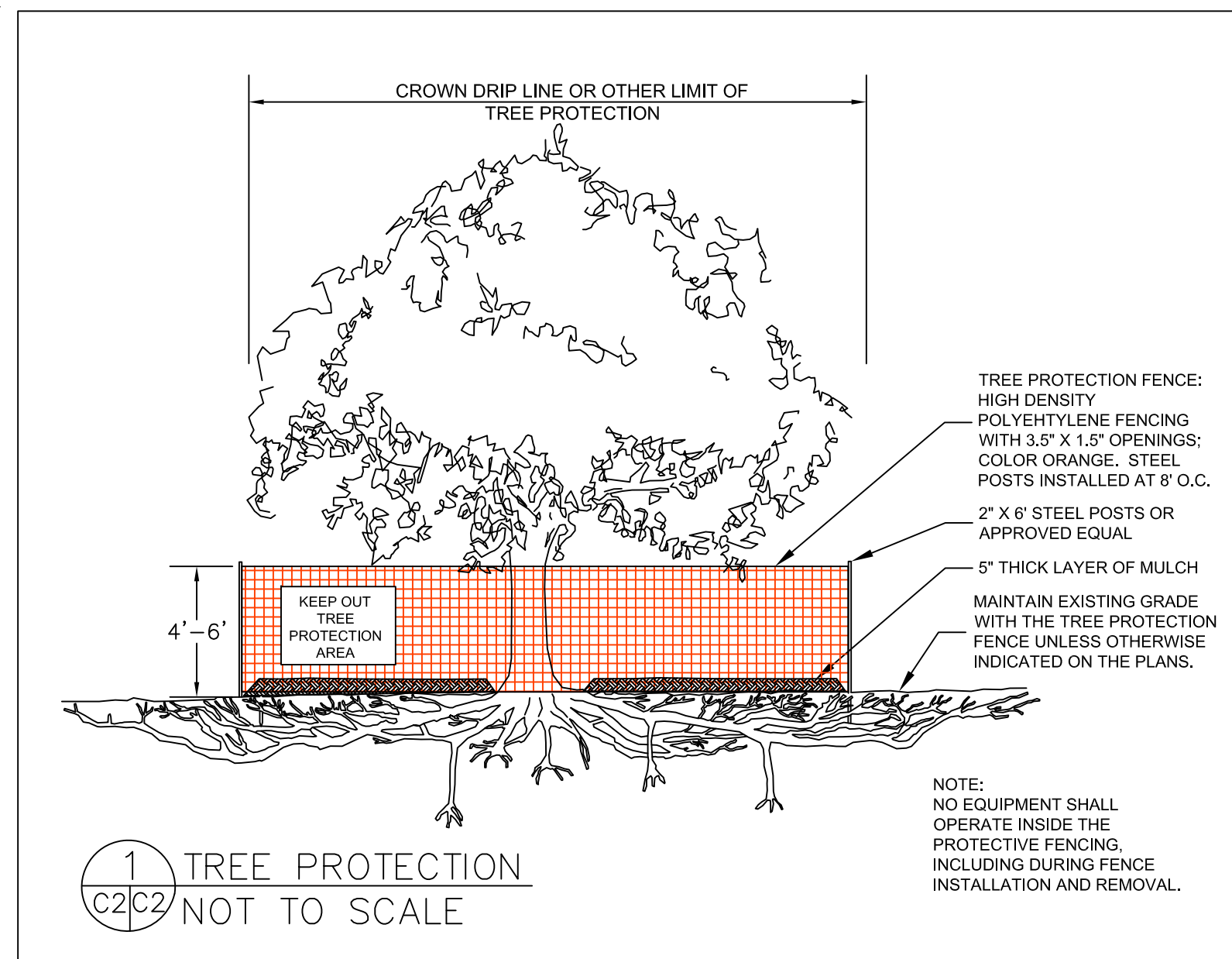
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: ROD LACASIA
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-766-2463
 PHONE:
 E-MAIL: ROD@MYRECONSTRUCTION.COM

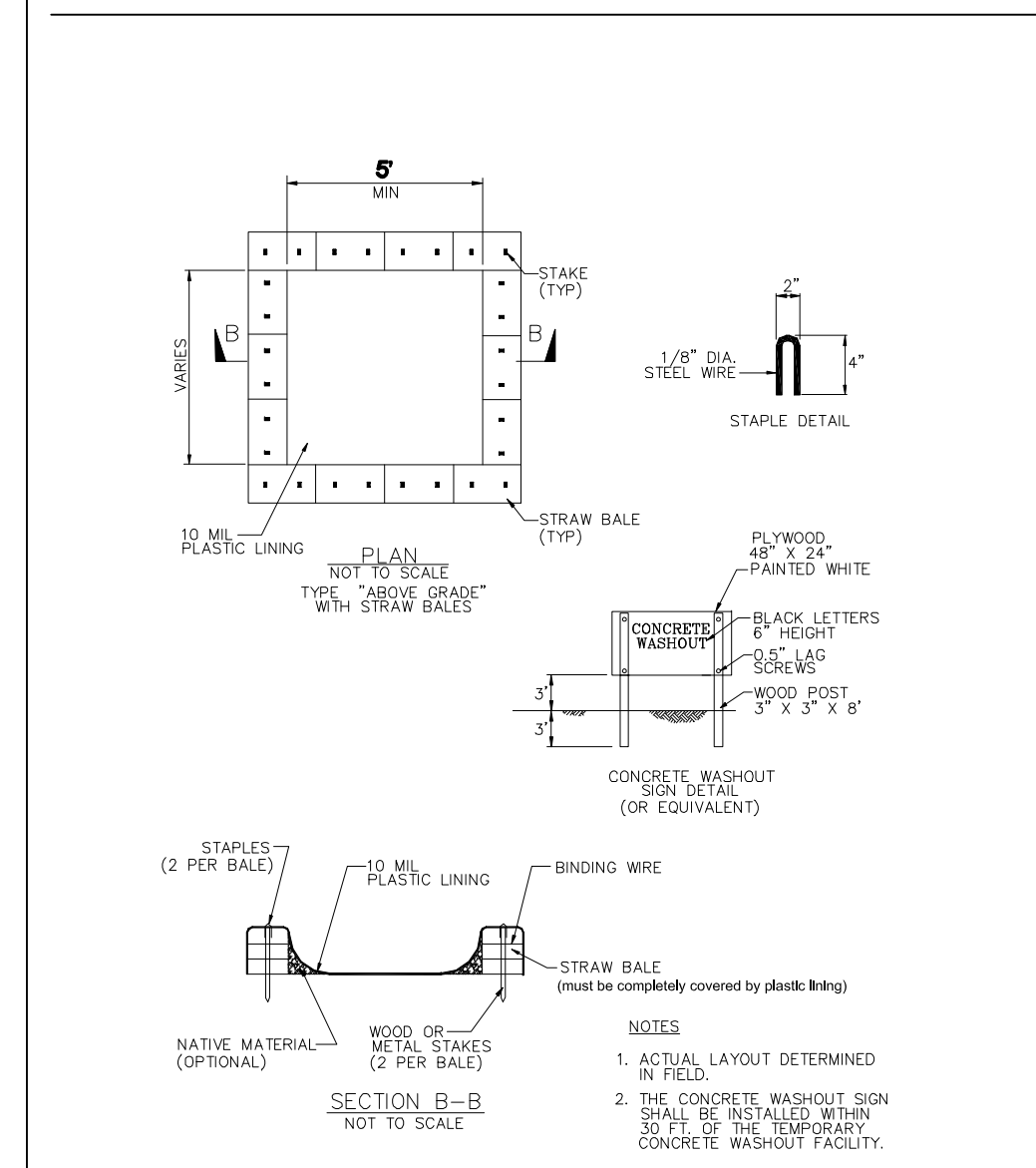


TREE PROTECTION NOTES

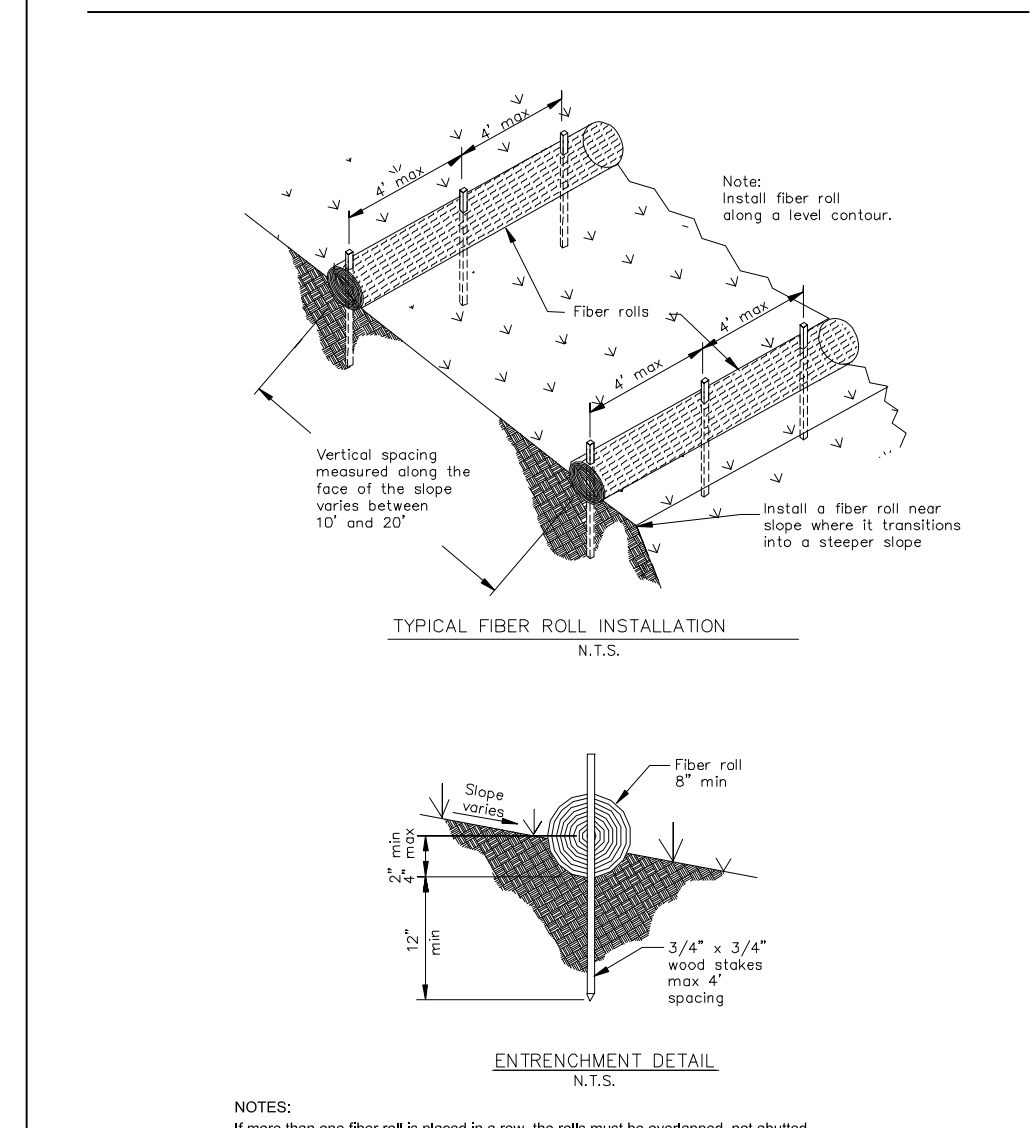
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



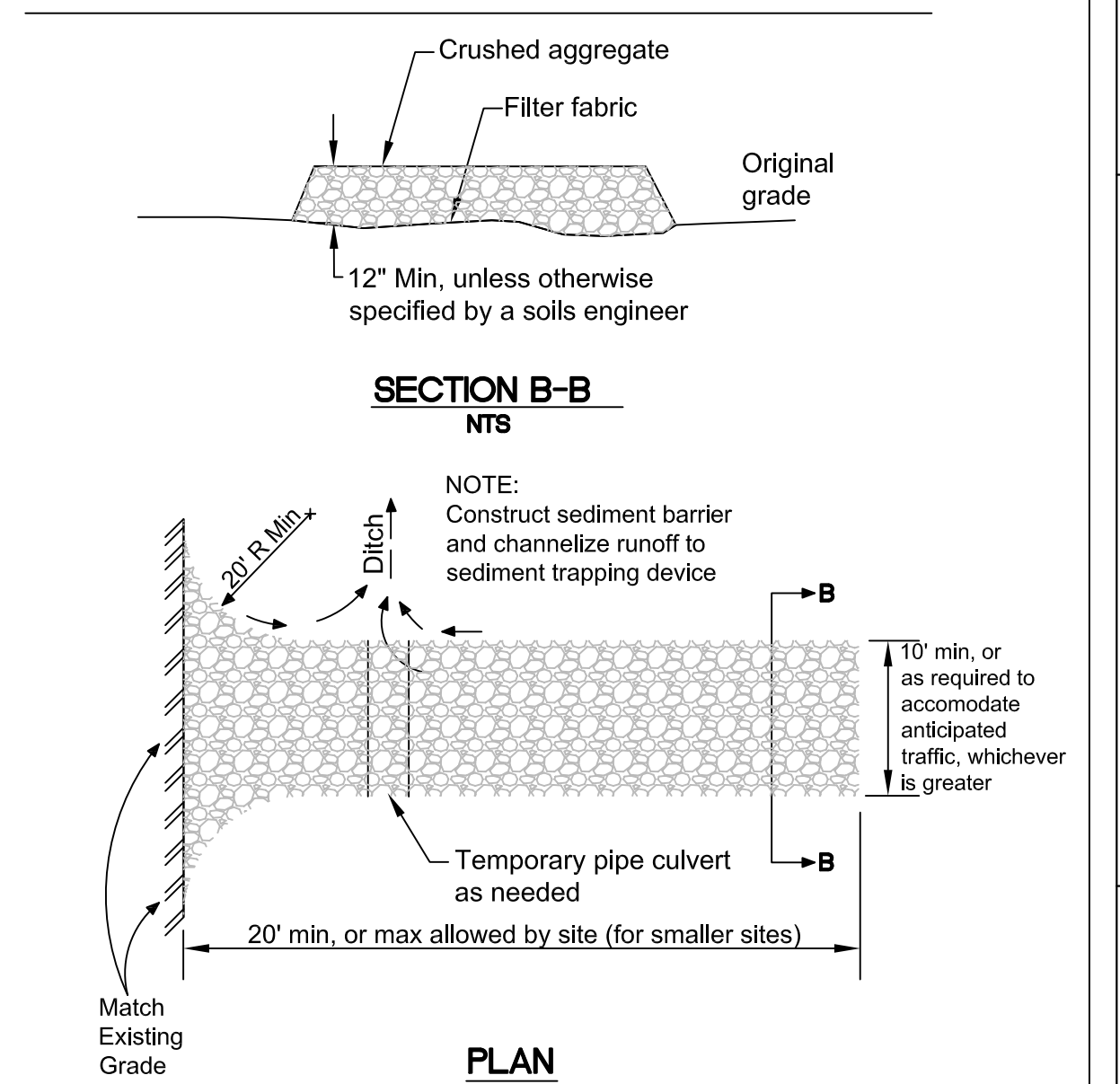
CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



DATE: 12-3-20	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 4-18-22	REV. DATE:	REV. DATE:
Sigma Prime Geosciences, Inc.			SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593		
EROSION AND SEDIMENT CONTROL PLAN			LACASIA PROPERTY 779 SAN CARLOS AVE. EL GRANADA APN 047-105-020		
SHEET			C-2		



OLF

LED Security Floodlight with Motion Sensor



Catalog Number

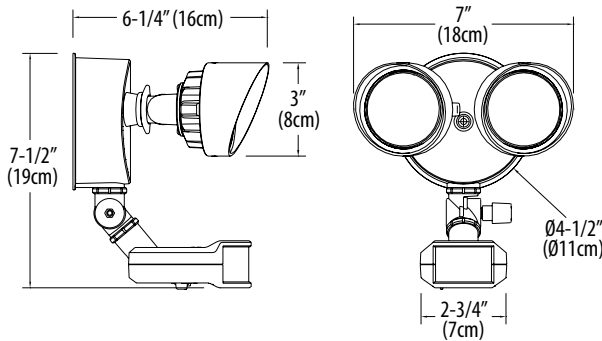
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Width:	7.00" (17.8 cm)
Height:	7.5" (19.1 cm)
Depth:	6.25" (15.9 cm)
Weight:	1.5 lbs. (0.68 kg)
Lumen Output:	2,160
Input Power:	25W
Efficacy:	86 Lumens per Watt
Input volage:	120V



Introduction

The OLF LED security floodlight combines energyefficient LEDs with motion sensing (or occupancy sensing) technology. OLF motion response feature includes 180 degree range, 70 feet forward detection, sensitivity adjustment switch and a test / time switch to adjust the duration to stay illuminated when motion is detected.

OLF 2RH contains two round heads delivering 2,160 lumens using only 25W power. OLF 2RH replaces up to two 90W PAR incandescent lamps and saves 86% energy. A built-in photocell prevents daylight operation, and reduces energy costs further. OLF family is the ideal solution for residential and commercial security floodlighting applications.

Ordering Information

EXAMPLE: OLF 2RH 40K 120 MO DDB

OLF	Series	Number of heads	Color Temperature ¹	Voltage	Control	Finish
OLF	2RH	2 heads, round	40K 4000K ¹	120 120 volts	MO PIR motion detection with photocell	DDB Dark Bronze WH White

Complete list of configurations available:

OLF 2RH 40K 120 MO DDB

OLF 2RH 40K 120 MO WH

NOTES

1. Correlated color temperature (CCT) shown is nominal per ANSI C78, 377-2008.
2. LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.

FEATURES & SPECIFICATIONS

INTENDED USE

OLF security floodlights are ideal for an energy-efficient replacement of two 90W incandescent security lights. The OLF LED provides over 10 years of maintenance-free general illumination for outdoor applications. OLF 2RH with MO (motion sensor) option turns LEDs on when occupants in the space are detected. Ideal for entrances, walkways, corridors, yards, driveways and patios.

CONSTRUCTION

Cast-aluminum housing with dark bronze or white polyester powder paint for lasting durability. Motion sensor features thermo-plastic housing. LED lamp heads are thermally isolated from the driver that is located in the rear housing, promoting a long service life. Lenses are sealed to prolong service life. LEDs maintain 70% of light output at 50,000 hours of service life.

ELECTRICAL

Consumes 25W power, 120V input. 60Hz driver. The motion sensor turns LEDs on when occupancy is detected within the space. Detection angle is 180 degrees with a detection range of up to 70ft in forward detection. A built-in photocell is included for dusk-to-dawn operation. See digram and installation instructions for more information. Rated for outdoor installations, -40°C minimum ambient temperature.

INSTALLATION

Mounts to a recessed junction box on wall or ceiling. Crossbar and hardware provided. Wet location listed for mounting 4 feet above ground. Tool-less adjustable heads allow for precise aiming. Neighbor-friendly visors are adjustable or removable.

LISTINGS

UL/cUL listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards. ENERGY STAR[®] certified product.

WARRANTY

Five-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



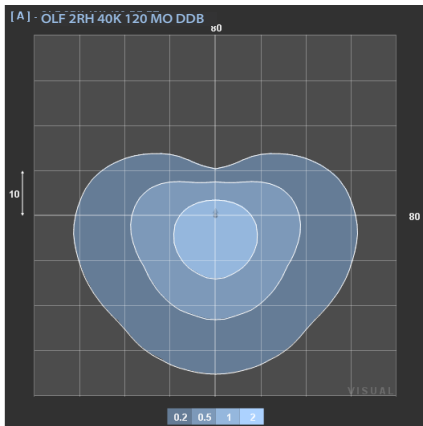
COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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OLF 2RH MO
Rev. 12/20/19

LEGEND

- 0.1 fc
- 0.2 fc
- 0.5 fc
- 1.0 fc



**OLF MO version features a motion / occupancy sensor and photocell combination head
(Please refer to installation instructions for more information).**



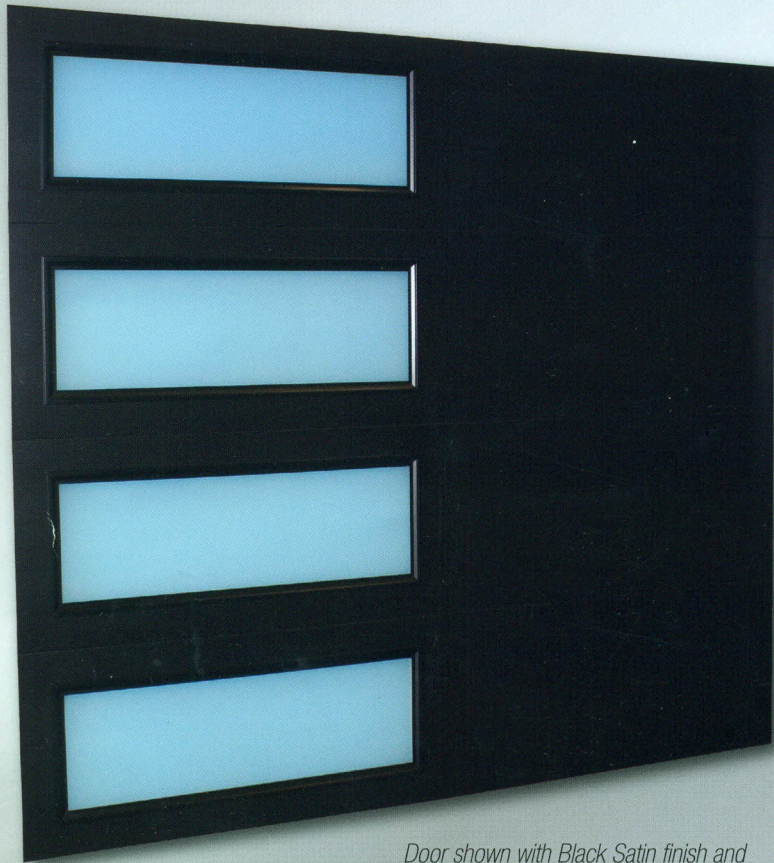
MODERN TECH™



- Since 1946 -

Modern Style Steel Insulated Garage Doors

- The Beauty of Aluminum with the Strength of Steel -

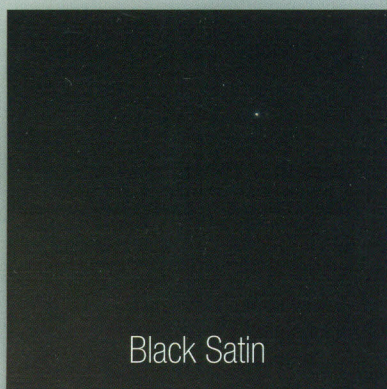


Our new Modern Tech steel garage door offers the Beauty of Aluminum with the Strength of Steel. It is built using Northwest Door's time-proven sandwich-type construction method. A 24 gauge steel face and a high density (EPS) R12 polystyrene core makes the Modern Tech extremely strong and energy efficient.

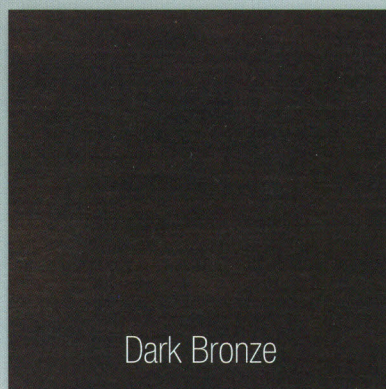
3 simulated anodized finishes:

- Black Satin
- Dark Bronze
- Brushed Nickel

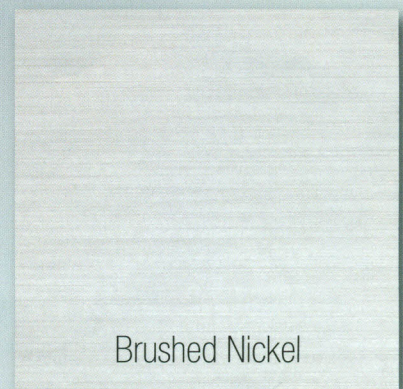
Door shown with Black Satin finish and optional white laminated glass windows



Black Satin



Dark Bronze



Brushed Nickel

NORTHWEST DOOR®

www.NorthwestDoor.com

MODERN TECH™

4) AFFORDABLE GAR DR.
PAC PEA

1) ARTISTIC GAR DR
2) ALERT DRYS S.M.
3) EZOND MASTERS S.C.

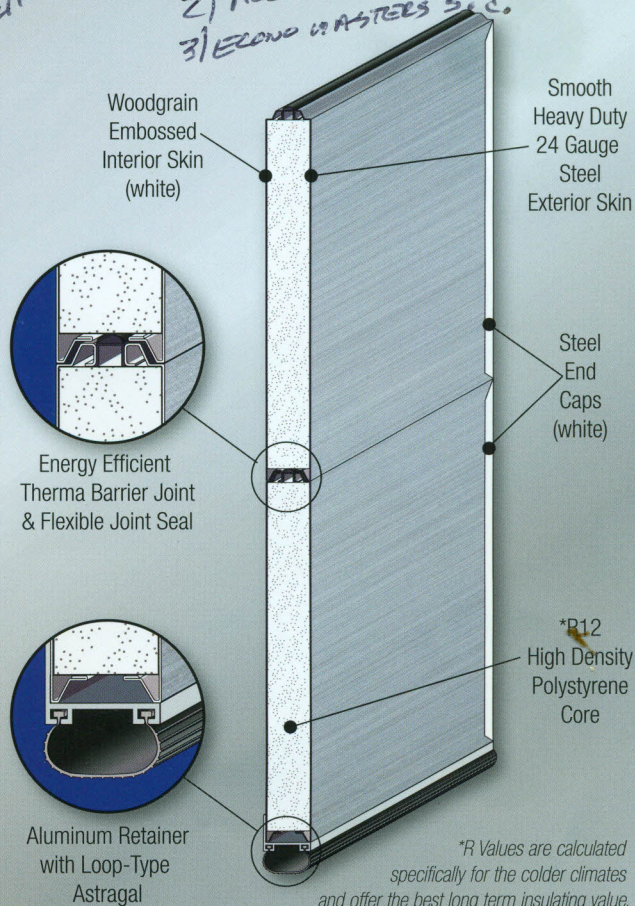
Our new Modern Tech is made using hot dipped galvanized prefinished steel skins. 24 gauge smooth exterior skins and wood grain embossed interior skins are sandwiched with a high-density (EPS) polystyrene core. They are pressure laminated together using Urethane adhesive, a method of construction that is unparalleled in strength. This type of construction forms a natural thermal barrier between front and back of door. 20 gauge steel backer plates are toggle locked to the inside of the back skin prior to assembly for attaching door hardware. Flexible seal is added at section joints to minimize air infiltration. 18 gauge end caps (white) are secured to each end of the door sections.

Doors are available in any width up to 20 ft. in one inch increments and heights up to 14 ft. using 24", 21" and 18" high door sections.

Doors come standard with standard lift torsion hardware, 10,000 cycle torsion springs and white 10 ball nylon rollers.

Low Clearance, Vertical Lift and High Lift Hardware, Extended Life Packages, Powder Coated Hardware, Inset Windows in a variety of glass types / colors and Electric Openers are available options.

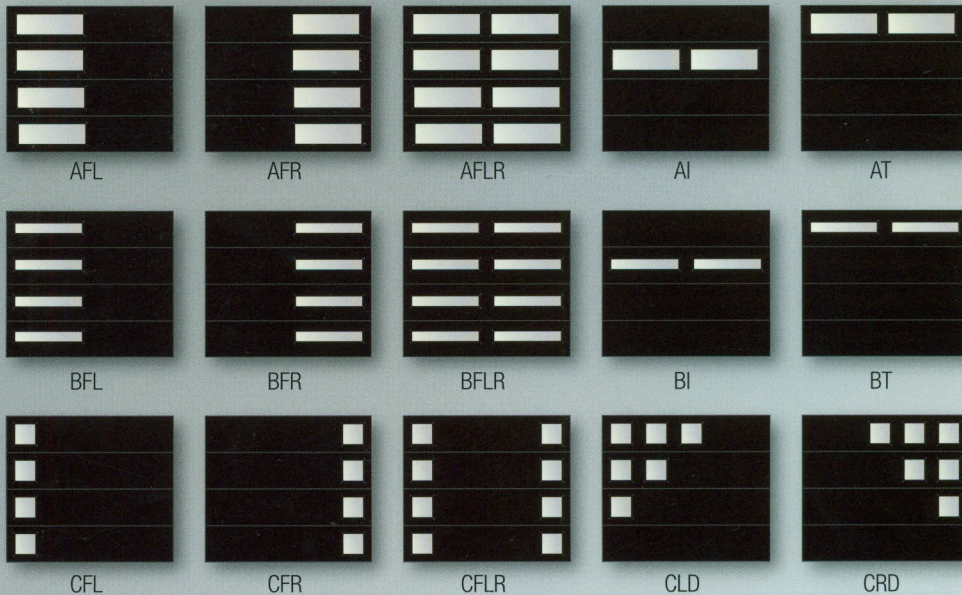
The Modern Tech features a **Limited Lifetime Warranty**.



- Design Configurations -



Inset windows have powder coated aluminum exterior frames to match the door finish. 3 window sizes to choose from plus a wide selection of glass types and colors up to 1/2" thick in a variety of configurations. Custom configurations are also available upon request.



LiftMaster® Northwest Door recommends LiftMaster® Professional Line Garage Door Openers on all Northwest Door® garage doors.



NORTHWEST DOOR®
Northwest Door, LLC
19000 Canyon Road East - Puyallup, WA 98375-9746
800-522-2264 www.northwestdoor.com

Project		Catalog #		Type	
Prepared by		Notes		Date	



HALO

LT56 Selectable CCT – Smooth Splay

5”/6” All-Purpose LED Retrofit Module
600 Lumen Series

Typical Applications

Residential

Interactive Menu

- Order Information page 2
- Product Specifications page 3
- Energy Data page 3
- Photometric Data page 4
- Product Warranty

Product Certification



Refer to ENERGY STAR® Certified Products List.
Can be used to comply with California Title 24 High Efficacy requirements.
Certified to California Appliance Efficiency Database under JAS.

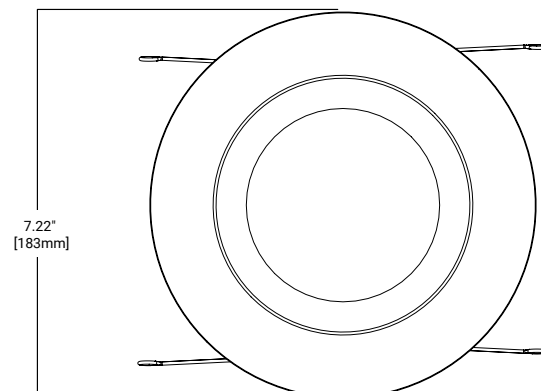
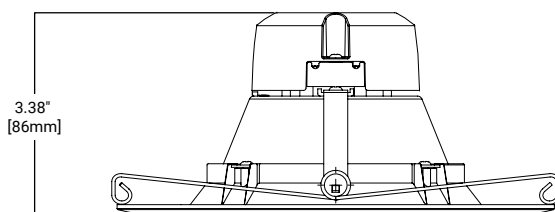
Product Features



Top Product Features

- Selectable CCT: 2700K, 3000K, 3500K or 3000K, 4000K, 5000K
- Smooth splay
- Dimmable down to 10%
- Retrofits into existing 5” or 6” housings
- Use with Halo 5” or 6” LED housings - new construction and remodel
- Wet location listed and “dead front”

Dimensional and Mounting Details



Order Information

SAMPLE ORDER NUMBER: **LTSS56069FS351EWHWR**

A complete luminaire consists of a housing and a LED integrated trim, order separately.

Module	Lumens	CRI/CCT	Driver	Finish	Packaging
LTSS56 = 5/6-inch LED retrofit module, smooth splay	06 = 600 lumens (nominal)	9FS23 = 90 CRI min, 2700K, 3000K, 3500K selectable CCT 9FS35 = 90 CRI min, 3000K, 4000K, 5000K selectable CCT	1E = 120V 60Hz, LE & TE phase cut 10% dimming	WHW = Matte white flange, white splay	R = Recyclable 4-color unit carton

Accessories

Accessories

HE26LED = Replacement medium base (E26) screw base adapter (one included with unit)

Housings

Housings

Halo LED 5-inch

H550ICAT = 5" LED, Insulated Ceiling, Air-Tite, New Construction Housing
H550RICAT = 5" LED, Insulated Ceiling, Air-Tite, Remodel Housing
E550ICAT = 5" LED, Insulated Ceiling, Air-Tite, New Construction Housing
E550RICAT = 5" LED, Insulated Ceiling, Air-Tite, Remodel Housing
H550FR2ICATD010 = 6" IC, airtight, 2 hour fire rated, new construction housing, LED, 120 - 277V

Halo LED 6-inch

H750ICAT = 6" LED, Insulated Ceiling, Air-Tite, New Construction Housing
H750RICAT = 6" LED, Insulated Ceiling, Air-Tite, Remodel Housing
H750T = 6" LED, Non-IC, Air-Tite, New Construction Housing
H750TCP = 6" LED, Non-IC, New Construction/Remodel Chicago Plenum Housing
H2750ICAT = 6" LED, Shallow, Insulated Ceiling, Air-Tite, New Construction (use with 691X, 694X, 696X trims only)
H2750RICAT = 6" LED, Shallow, Insulated Ceiling, Air-Tite, Remodel (use with 691X, 694X, 696X trims only)
E750ICAT = 6" LED, Insulated Ceiling, Air-Tite, New Construction Housing
E750RICAT = 6" LED, Insulated Ceiling, Air-Tite, Remodel Housing
H750FR2ICAT = 6" IC, airtight, 2 hour fire rated, new construction housing, LED, 120 - 277V

Halo LED retrofit

ML7E26RFK = 6" Retrofit Enclosure, Non-IC, E26 Screw base Interface
ML7BXFK = 6" Retrofit Enclosure, Non-IC, BX Whip

Halo Shallow Housings 5-inch

H25ICAT = 5" Shallow, Insulated Ceiling, Air-Tite New Construction
H25RICAT = 5" Shallow, Insulated Ceiling, Air-Tite Remodel
H25ICATNB = 5" Shallow, Insulated Ceiling, Air-Tite New Construction, No Socket Bracket

Halo Shallow Housings 6-inch

H27ICAT = 6" Shallow, Insulated Ceiling, Air-Tite New Construction
H27RICAT = 6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing
H27T = 6" Shallow, Non-IC, New Construction Housing
H27RT = 6" Shallow, Non-IC, Remodel Housing
E27ICAT = 6" Shallow, Insulated Ceiling, Air-Tite New Construction
E27RICAT = 6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing
E27TAT = 6" Shallow, Non-IC, New Construction Housing
E27RTAT = 6" Shallow, Non-IC, Remodel Housing

Halo Standard Housings 5-inch

H5ICAT = 5" Insulated Ceiling, Air-Tite New Construction Housing
H5RICAT = 5" Insulated Ceiling, Air-Tite Remodel Housing
H5ICATNB = 5" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
H5T = 5" Non-IC, New Construction Housing
H5RT = 5" Non-IC, Remodel Housing
H5TNB = 5" Non-IC, New Construction Housing, No Socket Bracket
ESICAT = 5" Insulated Ceiling, Air-Tite New Construction Housing
ESRICAT = 5" Insulated Ceiling, Air-Tite Remodel Housing
ESICATNB = 5" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
ESTAT = 5" Non-IC, New Construction Housing
ESTATNB = 5" Non-IC, Remodel Housing
ESTATNB = 5" Non-IC, New Construction Housing, No Socket Bracket

Halo Standard Housings 6-inch

H7ICAT = 6" Insulated Ceiling, Air-Tite New Construction Housing
H7RICAT = 6" Insulated Ceiling, Air-Tite Remodel Housing
H7ICT = 6" Insulated Ceiling, New Construction Housing
H7RICT = 6" Insulated Ceiling, Remodel Housing
H7ICATNB = 6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
H7ICTNB = 6" Insulated Ceiling, New Construction Housing, No Socket Bracket
H7T = 6" Non-IC, New Construction Housing
H7RT = 6" Non-IC, Remodel Housing
H7TNB = 6" Non-IC, New Construction Housing, No Socket Bracket
H7TCP = 6" Non-IC, Chicago Plenum, New Construction/Remodel Housing
H7UICAT = 6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing
H7ICAT = 6" Insulated Ceiling, Air-Tite New Construction Housing
E7RICAT = 6" Insulated Ceiling, Air-Tite Remodel Housing
E7ICATNB = 6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
E7TAT = 6" Non-IC, New Construction Housing
E7RTAT = 6" Non-IC, Remodel Housing
E7TATNB = 6" Non-IC, New Construction Housing, No Socket Bracket

Notes

LT56 Series LED Retrofit is UL Classified for retrofit in the following 5/6" recessed housings:

The LT Series LED light module - trim combination is cULus Listed or UL Classified for use with any 5"/6" diameter recessed housing constructed of steel or aluminum with an internal volume that exceeds 107.9 in3 in addition to those noted above.

Specification Features

Module

- LED module consists of LED array, optical assembly, driver and self-flanged trim
- Smooth splay
- Achieving L70 at 35,000 hours in IC and non-IC applications

Gaskets

- Closed cell gasket achieves restrictive airflow requirements without additional caulking

LED Array

- A plurality of low power LEDs provide a uniform source with high efficiency and long life
- Available in 90 CRI minimum, R9 greater than 50 and color accuracy within 4 SDCM provide color accuracy and uniformity
- Available in 3-color selectable CCT: choose 2700K, 3000K, 3500K or 3000K, 4000K, 5000K

Optical Assembly

- Optical assembly provides wide distribution useful for general and task lighting
- Diffuse injection molded lens with contoured profile provides uniformity and a familiar lamp like appearance
- Meets ENERGY STAR® color angular uniformity requirements

Driver

- Integral 120V 60 Hz constant current driver provides high efficiency operation
- Continuous, flicker-free dimming from 100% to 10% with select leading or trailing edge 120V phase cut dimmers – consult dimming guide for more information
- Consult dimmer manufacturer for compatibility and conditions of use
- Inline electrical quick connect and E26 adapter (provided) provides mains connection
- A separate ground wire and mounting hardware insures proper ground connection to housing

Retention

- Heat treated friction blades hold module securely to the housing
- Torsion springs are pre-installed and adjust to fit 5" and 6" compatible housings

Trim

- One-piece smooth splay or step baffle and self-flanged trim ring provides lens regression and reduces light leaks
- Injection molded plastic construction is impact resistant and non-corrosive
- Non-conductive construction meets most local code 'dead front' requirements

Compliance

- UL Certified for US and Canada for use with Halo housings, classified for use with other's housings, see instruction sheet for conditions of acceptability
- Wet location listed
- Air-tite per ASTM-E283
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions per FCC 47CFR Part 15 consumer limits
- Contains no mercury or lead and RoHS compliant
- Photometric testing in accordance with IES LM79-08
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11
- Can be used for State of California Title 24 high efficacy luminaire compliance, reference the California Energy Commission Title 20 Appliance Efficiency Database for current listings
- ENERGY STAR® listed, reference database for current listings
- Meets State of California voluntary lamp standards

Warranty

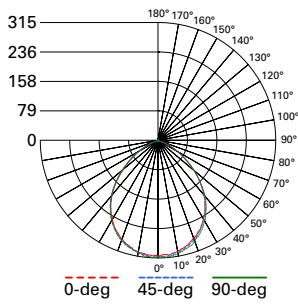
- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy Data

Energy Data	
Lumens	600 Series
Input Voltage	120V
Input Current	0.06 (A)
Input Power	6.97 (W)
Efficiency	Up to 88 (LPW)
Inrush	2 (A)
THD: ≤ 17.2%	
PF: ≥ 0.960	
T Ambient -30 - +40°C	
Sound Rating ≤ 23dba	

Photometric Data

View IES files



LTSS56069FS231EWHWR - 2700K

Spacing criterion: (0-180) 1.17
(90-270) 1.19
(Diagonal) 1.25

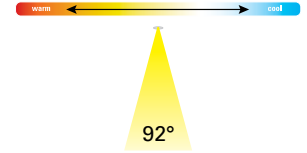
Beam Angle: 92°
Lumens: 649
Input Watts: 6.94 W
Efficacy: 93.6 LPW
UGR: 17

Test Report:
LTSS56069FS231EWHWR.ies

Zonal Lumen	Lumens	% Lumens
0-30	236	36.3
0-40	375	57.7
0-60	586	90.2
0-90	645	99.3

TM-30-15	Rf = 92
	Rg = 99
CRI/CIE	Ra = 94
	R9 = 62

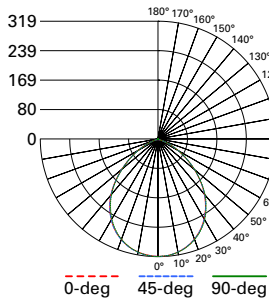
CCT - Range of 2700K- 5000K



LT56 3CCT Splay - 2700K / 3000K / 3500K				
CCT	Watts	lumens	LPW	CRI
2700K	7.1	635	89.3	92
3000K	6.8	695	102.2	93
3500K	7.1	690	97.2	91

LTSS56069FS231EWHWR - 3000K

PRODUCT SPECIFICATIONS	
Lumens	695
Watts	6.8
Lumens Per Watt (Efficacy)	102.2
Color Accuracy (CRI)	93
Light Color (CCT)	3000K
Correlated Color Temperature (CCT)	
warm white	soft white
2700K	3000K
4500K	6500K



LTSS56069FS351EWHWR - 3000K

Spacing criterion: (0-180) 1.18
(90-270) 1.18
(Diagonal) 1.25

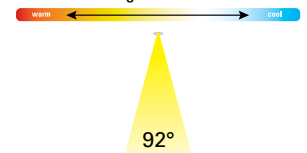
Beam Angle: 92°
Lumens: 666
Input Watts: 6.94 W
Efficacy: 96 LPW
UGR: 17

Test Report:
LTSS56069FS351EWHWR.ies

Zonal Lumen	Lumens	% Lumens
0-30	241	36.2
0-40	383	57.6
0-60	600	90.1
0-90	662	99.3

TM-30-15	Rf = 92
	Rg = 99
CRI/CIE	Ra = 94
	R9 = 63

CCT - Range of 2700K- 5000K



LT56 3CCT Splay - 3000K / 4000K / 5000K				
CCT	Watts	lumens	LPW	CRI
3000K	7.2	645	89.6	92
4000K	7.0	695	100.0	93
5000K	7.3	675	92.5	92

LTSS56069FS351EWHWR - 3000K

PRODUCT SPECIFICATIONS	
Lumens	645
Watts	7.2
Lumens Per Watt (Efficacy)	89.6
Color Accuracy (CRI)	92
Light Color (CCT)	3000K
Correlated Color Temperature (CCT)	
warm white	soft white
2700K	3000K
4500K	6500K



April 19, 2022

Rod Lacasia

Subject: Riparian Setback Issues: 779 San Carlos Avenue, El Granada
(APN 047-105-020).

Dear Mr. Lacasia:

The drainage system for the proposed house includes a detention basin consisting of stacked 2-foot diameter perforated pipes located 10 feet from the house. The property is mostly within a riparian zone. With the 30-foot setback, only 2700 square feet out of a total of 7070 square feet, or 38 percent of the lot is outside the riparian setback. With conventional building setbacks, this leaves very little room for a house. Also, the detention basin cannot be less than 10 feet from the house, per the County's requirements. With the 30-foot riparian setback, there is about 1770 square feet left for a building envelope. If the detention basin were to be located outside the 30-foot setback, the building envelope would be reduced to about 900 square feet, and there would be no room for an ADU.

Because of all these constraints, there is very little room for a house and it is not feasible to locate the detention basin outside the riparian setback. As allowed under Section 7.12 of the Local Coastal Program, the detention basin is inside the 30-foot riparian setback, but outside the 20-foot riparian setback.

If you have any questions, please call me at (650) 728-3590.

Yours,
Sigma Prime Geosciences

Charles Kissick, P.E.

