



**5TH STREET**

(60' R/W)

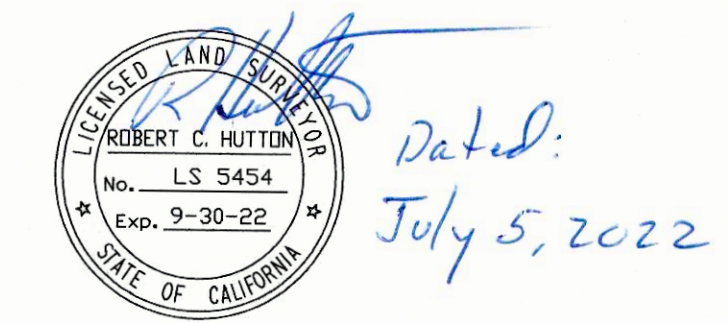
APPROXIMATE LOCATION CENTERLINE R/W 676.38' S61°19'44"E

**BASIS OF ELEVATIONS:**  
ELEVATIONS ARE BASED UPON SMC0 BENCH MARK #7-71  
ELEVATION: 133.45  
TBM: FOUND MAG & LARGE SHINER  
ELEVATION = 192.58'

**BASIS OF BEARINGS:**  
THE BASIS OF BEARINGS FOR THIS SURVEY WAS TAKEN FROM THE CENTERLINE OF 6TH STREET, BETWEEN LE CONTE AVENUE AND AUBODUN AVENUE, BEING NORTH 61°20'36"W, AS SHOWN ON 42 LLS 78.

- LEGEND:**
- O SET 3/4" IRON PIPE WITH YELLOW PLASTIC CAP PLS 5454
  - A/C SET #4 REBAR ON LOT LINE
  - BW ASPHALTIC CONCRETE
  - CB BACK OF WALK
  - CB CATCH BASIN
  - CLRD CENTERLINE OF ASPHALT PAVED ROAD
  - CONC CORRUGATED METAL PIPE
  - CO CONCRETE
  - DI CLEAN-OUT
  - EM DROP INLET
  - EM ELECTRIC METER FOUND
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FM FIRE HYDRANT
  - GA OUT ANCHOR
  - GM GAS METER
  - GRD GROUND
  - HCR HANDICAP RAMP
  - INV INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - LAT LATERAL
  - LG LIP OF GUTTER
  - O/H OVERHEAD
  - P.U.E. PUBLIC UTILITIES EASEMENT
  - RCP REINFORCED CONCRETE PIPE
  - RET. WALL RETAINING WALL
  - R/W RIGHT OF WAY
  - SSCO SANITARY SEWER CLEAN-OUT
  - SSMH SANITARY SEWER MANHOLE
  - SDMH STORM DRAIN MANHOLE
  - TBC TOP BACK OF CURB
  - T/W TOP OF WALL
  - U/G UNDERGROUND
  - VCP VITRIFIED CLAY PIPE
  - WV WATER VALVE
  - WM WATER METER BOX
  - CTV- CABLE TELEVISION LINE
  - E- ELECTRICAL LINE
  - G- GAS LINE
  - SS- SANITARY SEWER LINE
  - SD- STORM DRAIN LINE
  - T- TELEPHONE LINE
  - W- WATER LINE

**UTILITY NOTE:**  
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



**BOUNDARY AND TOPOGRAPHIC SURVEY**

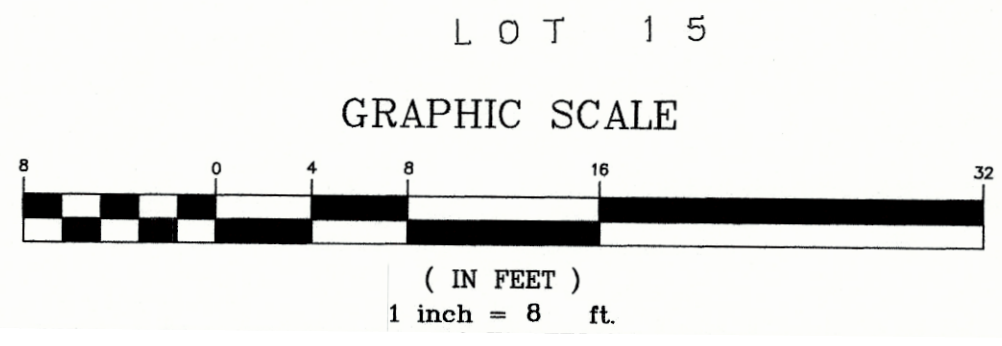
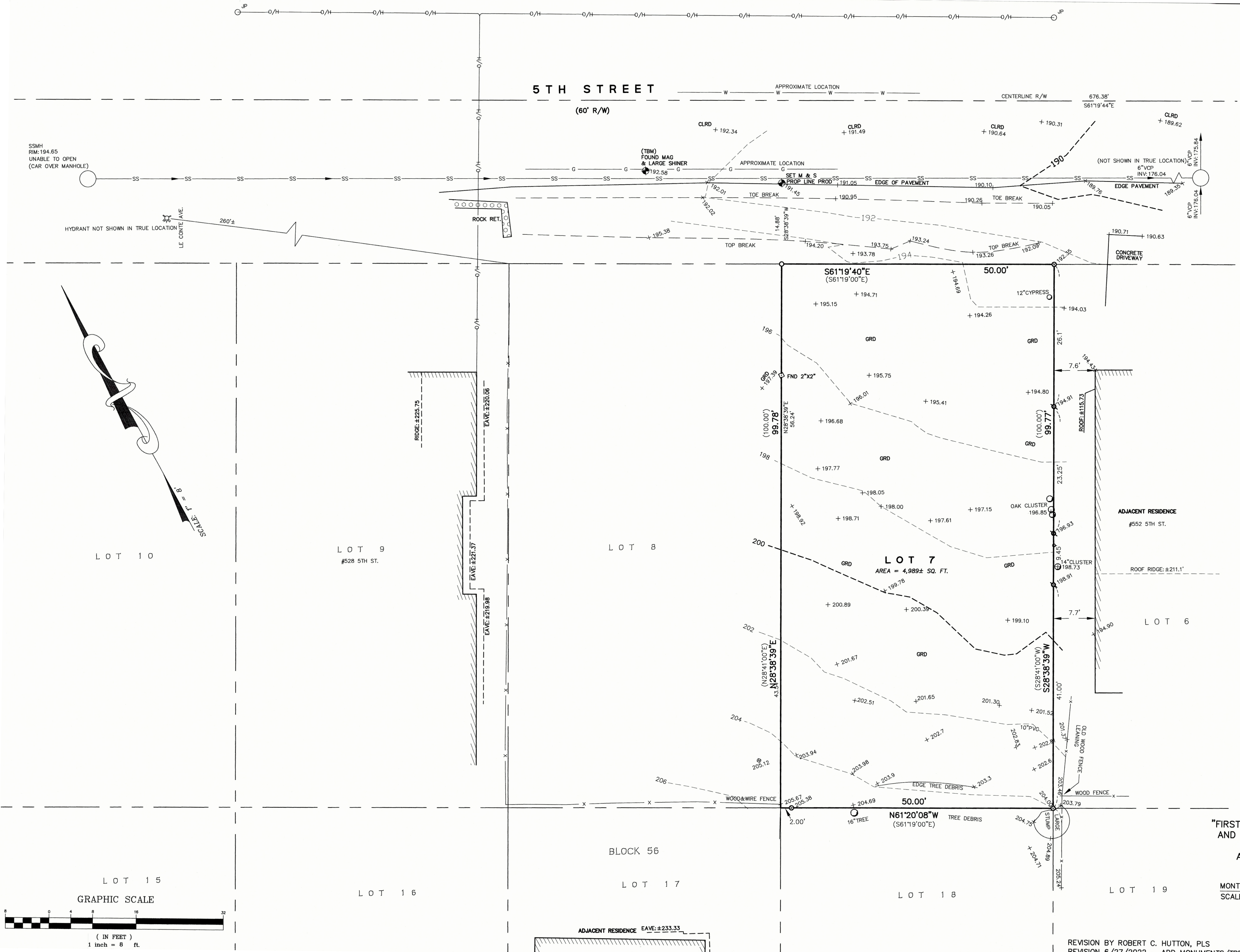
LANDS OF FESTEJO  
DOCUMENT #2019-075690 O.R.

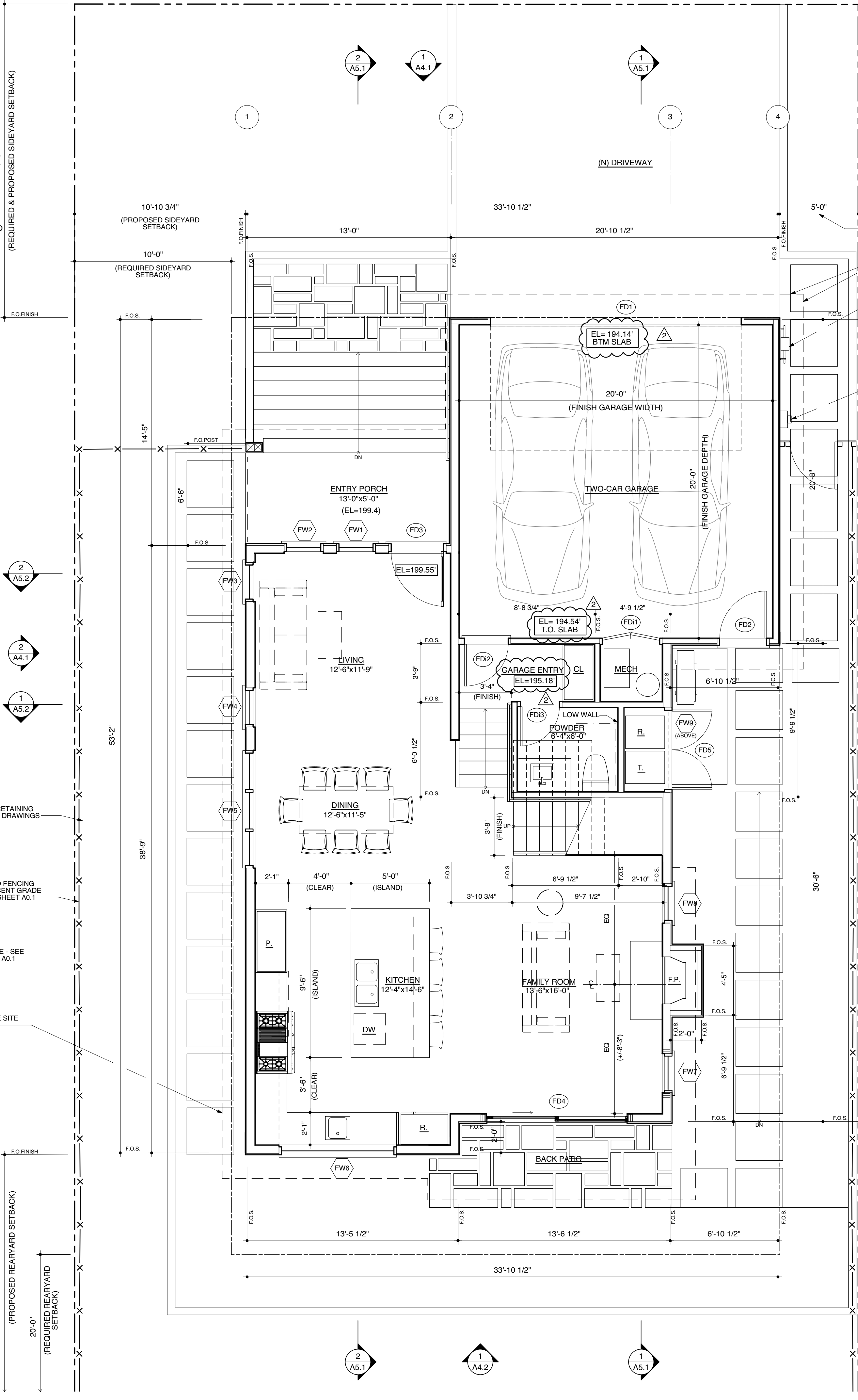
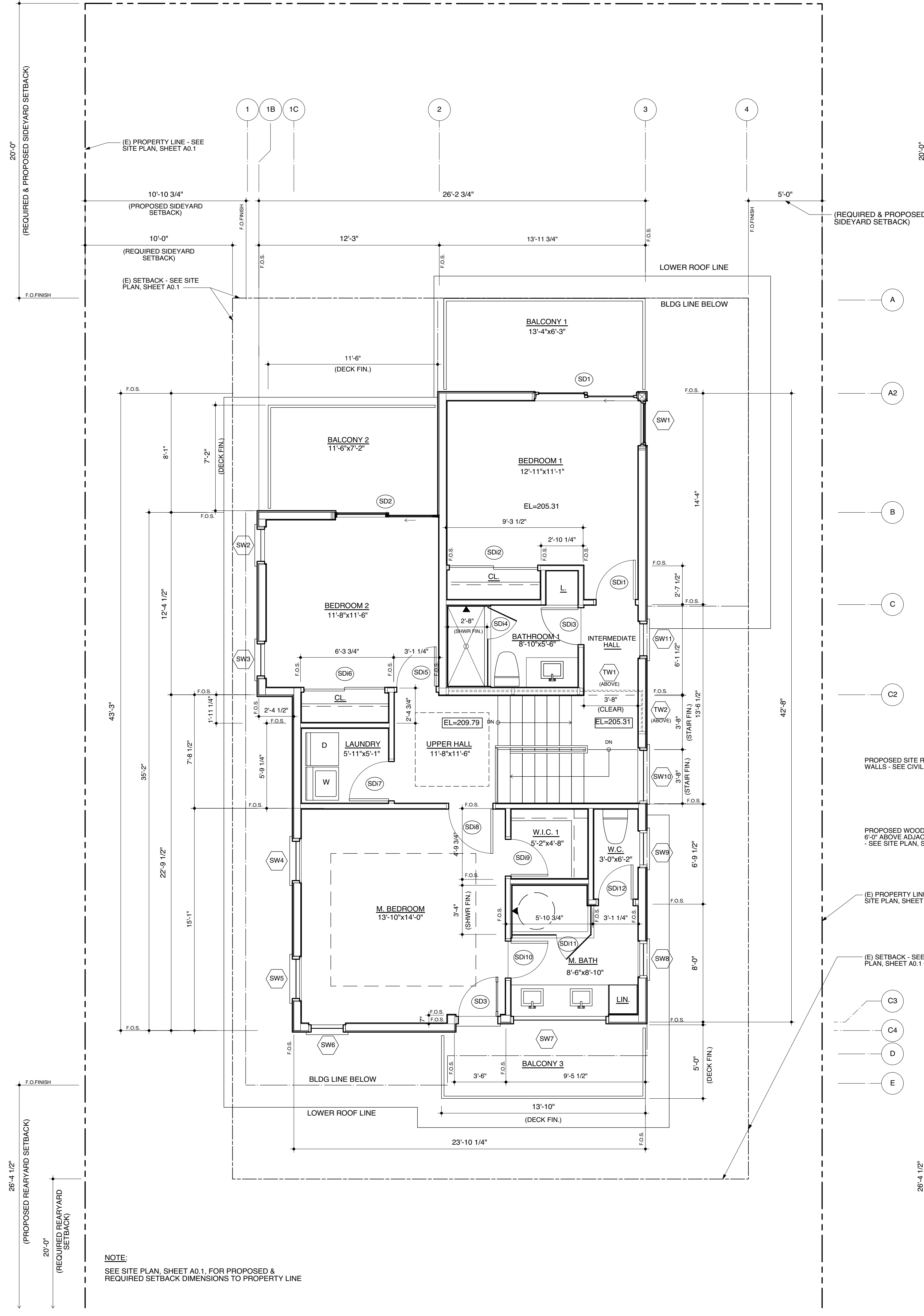
LOT 7, BLOCK 56  
"FIRST ADDITION TO FARALLONE CITY BEING LOTS FORTY AND FORTY ONE OF HALF MOON BAY COLONY TRACT"  
VOLUME 4 OF MAPS AT PAGE 29  
ASSESSOR'S PARCEL NUMBER: 036-067-300  
(VACANT LOT, 5TH STREET)

MONTARA (UNINCORPORATED) SAN MATEO COUNTY CALIFORNIA  
SCALE: 1" = 8' MARCH, 2021  
JUNE, 2022

**B & H SURVEYING, INC.**  
PROFESSIONAL LAND SURVEYING  
901 WALTERMIRE ST.  
BELMONT, CA 94002  
OFFICE (650) 637-1590

REVISION BY ROBERT C. HUTTON, PLS  
REVISION 6/27/2022 - ADD MONUMENTS/TREES





(E) PROPERTY LINE - SEE SITE PLAN, SHEET A0.1

(REQUIRED & PROPOSED SIDEYARD SETBACK)

(E) SETBACK - SEE SITE PLAN, SHEET A0.1

GAS METER

ELECTRIC METER

(E) PROPERTY LINE - SEE SITE PLAN, SHEET A0.1

(REQUIRED & PROPOSED SIDEYARD SETBACK)

(E) SETBACK - SEE SITE PLAN, SHEET A0.1

(E) PROPERTY LINE - SEE SITE PLAN, SHEET A0.1

(REQUIRED & PROPOSED SIDEYARD SETBACK)

(E) SETBACK - SEE SITE PLAN, SHEET A0.1

PROPOSED SITE RETAINING WALLS - SEE CIVIL DRAWINGS

PROPOSED WOOD FENCING 6'-0" ABOVE ADJACENT GRADE - SEE SITE PLAN, SHEET A0.1

(E) PROPERTY LINE - SEE SITE PLAN, SHEET A0.1

(E) SETBACK - SEE SITE PLAN, SHEET A0.1

(E) PROPERTY LINE - SEE SITE PLAN, SHEET A0.1

(REQUIRED & PROPOSED SIDEYARD SETBACK)

(E) SETBACK - SEE SITE PLAN, SHEET A0.1

NOTE:  
SEE SITE PLAN, SHEET A0.1, FOR PROPOSED & REQUIRED SETBACK DIMENSIONS TO PROPERTY LINE

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**NEW RESIDENCE  
5TH STREET  
MONTARA, CA 94037**

APN: 036-067-300  
PROJECT NUMBER: ZD-01

DRAWING:  
PROPOSED FIRST FLOOR PLAN  
PROPOSED SECOND FLOOR PLAN

DRAFTED BY:	CHECKED BY:	
PRINT DATE: 08.03.22	SCALE: 1/4" = 1'-0"	
SUBMITTALS / REVISIONS:		
NO.	DATE	DESCRIPTION
1	04.29.22	SUBMIT TO PLANNING
2	06.24.22	RESPONSE TO COMMENTS
3	08.03.22	RESPONSE TO COMMENTS

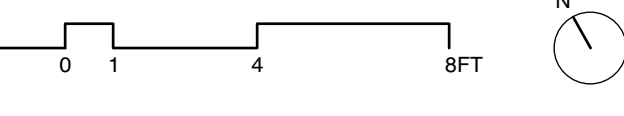
**A2.1**

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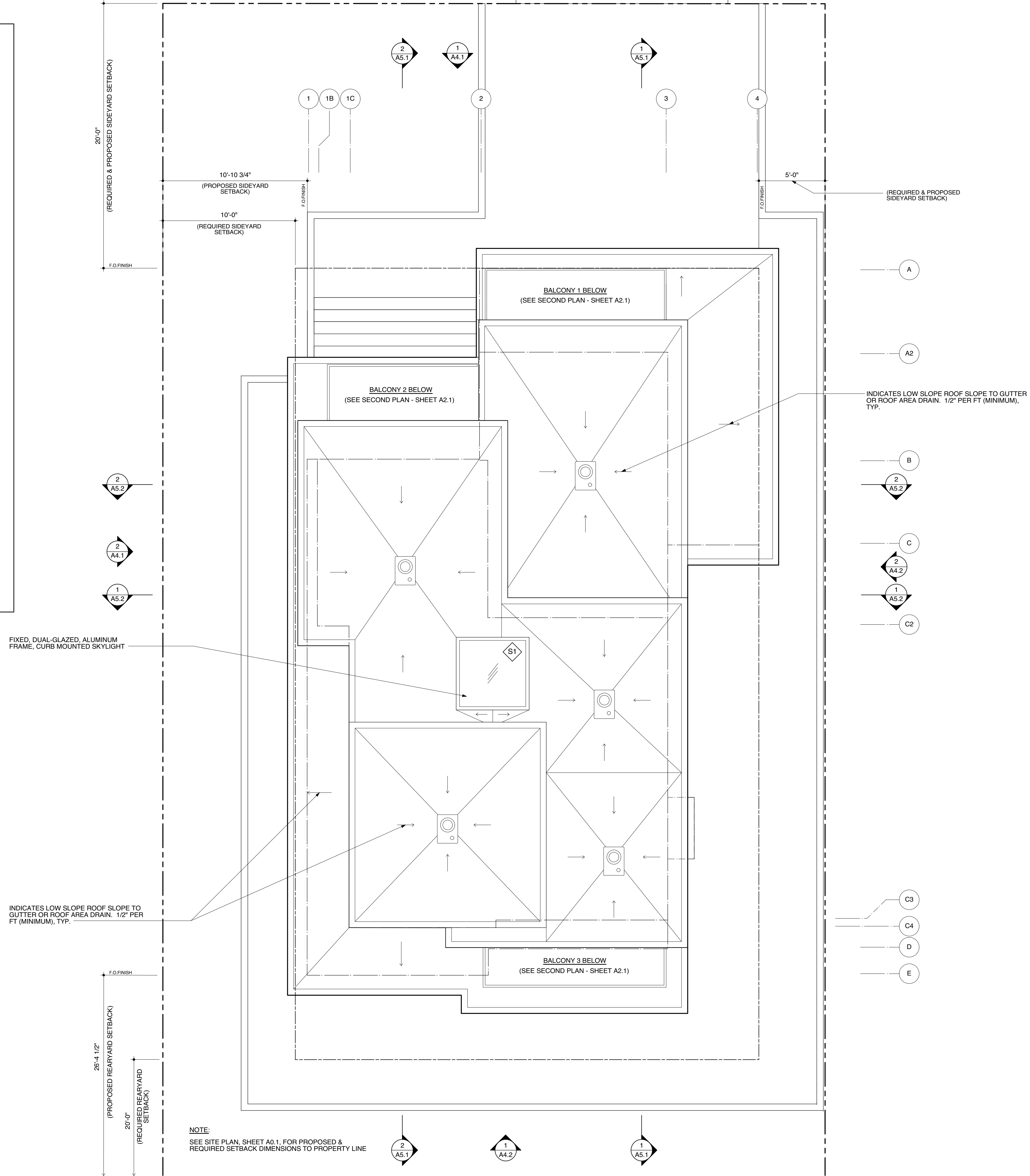
**2**  
A2.1  
PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

**1**  
A2.1  
PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

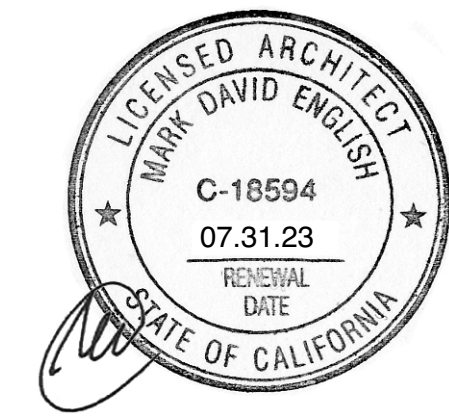


**COASTSIDE FIRE PROTECTION DISTRICT NOTES:**

- SMOKE ALARMS WHICH ARE HARDWIRED: AS PER THE CALIFORNIA BUILDING CODE, AND STATE FIRE MARSHAL REGULATIONS, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED AND HAVE A BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONDITIONED SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL. DATE OF INSTALLATION MUST BE ADDED TO EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.
- ESCAPE OR RESCUE WINDOWS:** SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ FT ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR. (CFC 2019 SECTION 1030.2).
- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. THE LETTERS / NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 1/2-INCH STROKE. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY / ROADWAY ENTRANCE LEADING TO THE BUILDING AND / OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE DISTRICT. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS / LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
- AS PER COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, THE ROOF COVERINGS OF EVERY NEW BUILDING OR STRUCTURE, AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.
- THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL (WOOD BURNING) CHIMNEYS. SPARK ARRESTORS SHALL BE MADE OF 12-GAGE WOVEN OR WELDED WIRE SCREENING HAVING OPENINGS NOT EXCEEDING 1/2 INCH. IF NOT WOOD BURNING DISREGARD THIS NOTE.
- VEGETATION MANAGEMENT (LRA):** THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, THE 2019 FIRE CODE 304.1.2  
A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
- FIRE ACCESS ROADS:** THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE CITY OF HALF MOON BAY DEPARTMENT OF PUBLIC WORKS, SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2019 CFC, DEAD-END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2019 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.
- FIRE APPARATUS ACCESS ROADS** TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED W/ ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150FT IN LENGTH WITH A MINIMUM OF 500 FT BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20FT, 20FT WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20% (PLAN AND PROFILE REQUIRED) CFC 503.
- AS PER 2019 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (CLOW 960) MUST BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVEABLE ACCESS. AS PER 2019 CFC, APPENDIX B THE HYDRANT MUST PRODUCE A MINIMUM FIRE FLOW OF 500 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR OF WATER FLOW DETAILS.
- AUTOMATIC FIRE SPRINKLER SYSTEM:** (FIRE SPRINKLER PLANS WILL REQUIRE A SEPARATE PERMIT). AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2019-03, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. SPRINKLER COVERAGE SHALL BE PROVIDED THROUGHOUT THE RESIDENCE TO INCLUDE ALL BATHROOMS, GARAGES, AND ANY AREA USED FOR STORAGE. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION OR THE CITY OF HMB. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW.
- INSTALLATION OF UNDERGROUND SPRINKLER PIPE** SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN. PLEASE CALL COASTSIDE FIRE DISTRICT TO SCHEDULE AN INSPECTION. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.
- EXTERIOR BELL AND INTERIOR HORN / STROBE:** ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.
- SOLAR PHOTO VOLTAIC SYSTEMS:** THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE 2019 CFC SECTION 1204.2.1.



**1** **A2.2** **PROPOSED ROOF PLAN**  
1/4" = 1'-0"

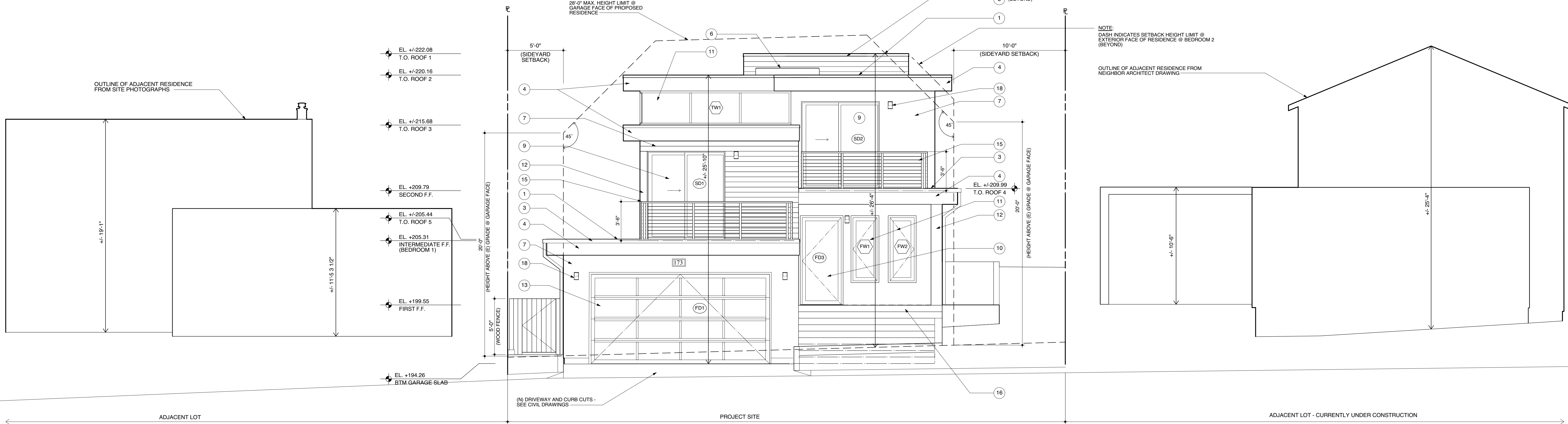


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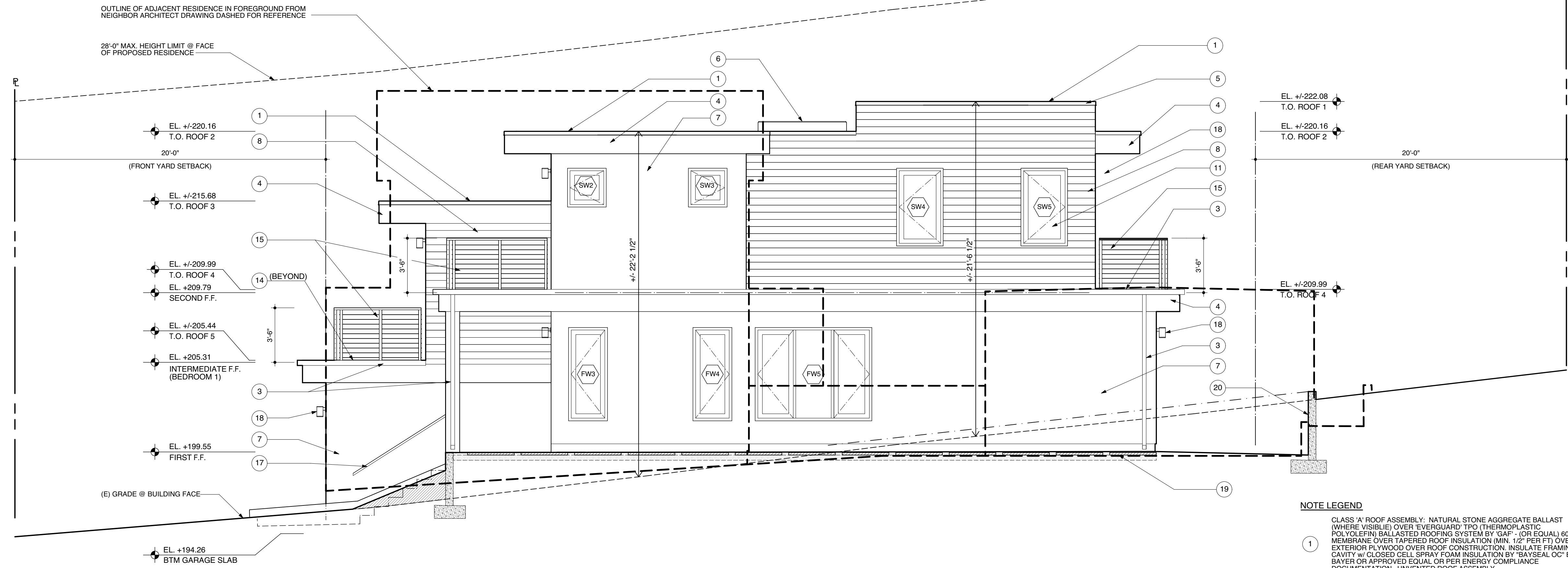
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APN: 036-067-300  
PROJECT NUMBER: ZD-01

DRAWING: <b>PROPOSED ROOF PLAN COASTSIDE FIRE PROTECTION DISTRICT NOTES</b>	
DRAFTED BY:	CHECKED BY:
PRINT DATE: 08.03.22	SCALE: 1/4" = 1'-0"
SUBMITTALS / REVISIONS:	
NO.	DATE DESCRIPTION
—	04.29.22 SUBMIT TO PLANNING
△	06.24.22 RESPONSE TO COMMENTS
△	08.03.22 RESPONSE TO COMMENTS
<b>A2.2</b>	

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1 PROPOSED NORTH ELEVATION (5th STREET ELEVATION)  
 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION  
 1/4" = 1'-0"

**ELEGANT LIGHTING**

Black  
 Item No:LDOD4041BK

**Specifications**

Finish	2 Finishes
Material	Aluminum & Glass
Glass Color	Forsted
Type	Wall Sconce
Hanging Device	N/A
Voltage	110-125V
Dimmable	NO
Warranty	2 Year Limited
Shipment Type	Small Parcel

**Dimensions**

Back Plate Size(in)	4.09"x4.09"x2.28"
Chain/Rod Length	N/A
Width	4.75"
Extension	7"
Height	7.88"
Maximum Height	N/A

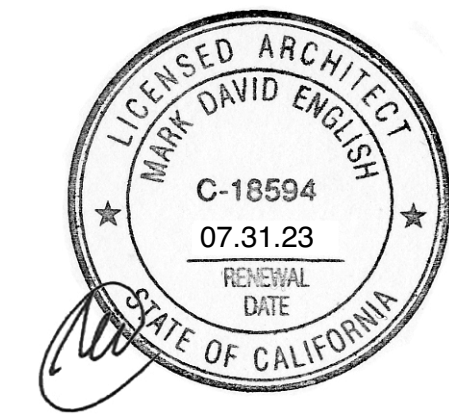
**Bulb / Socket**

Socket Type	E26
Number of Lights	1
Wattage/Bulb	40W
Included	NO

**Installation**

Indoor/Outdoor	Outdoor
Dry/Wet/Damp	Wet
Weight	2.3LBS
Wire Length	8"
Safety Rating	N/A

3 SPECIFICATION - EXTERIOR LIGHT FIXTURE  
 N.T.S.



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 5TH STREET  
 MONTARA, CA 94037**

APN: 036-067-300  
 PROJECT NUMBER: ZD-01

DRAWING: PROPOSED EXTERIOR ELAVATIONS SPECIFICATION

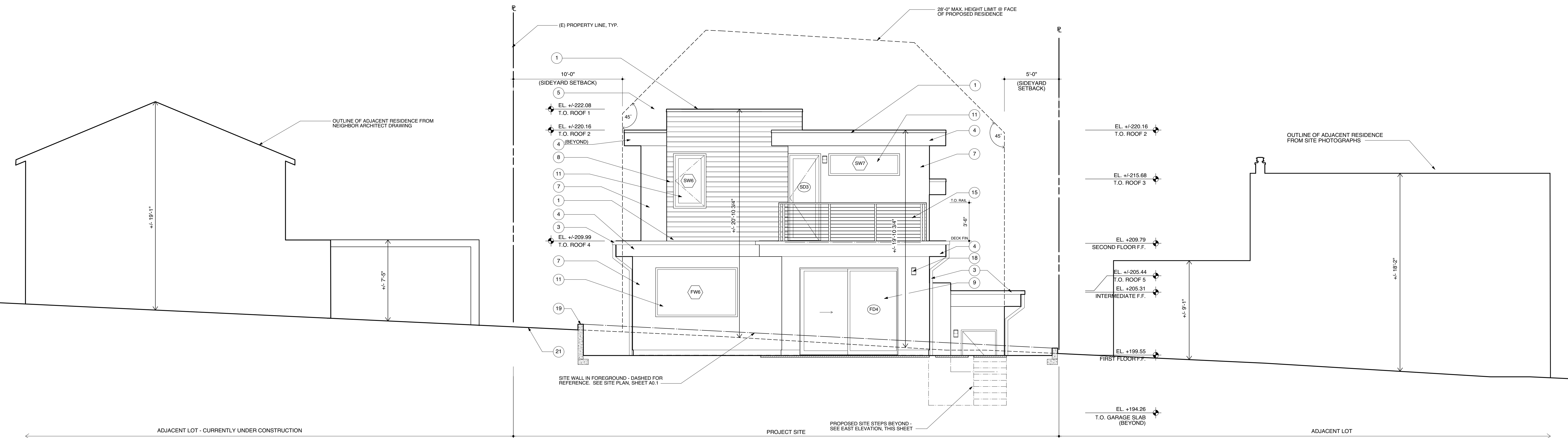
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10.03.22	1/4" = 1'-0"

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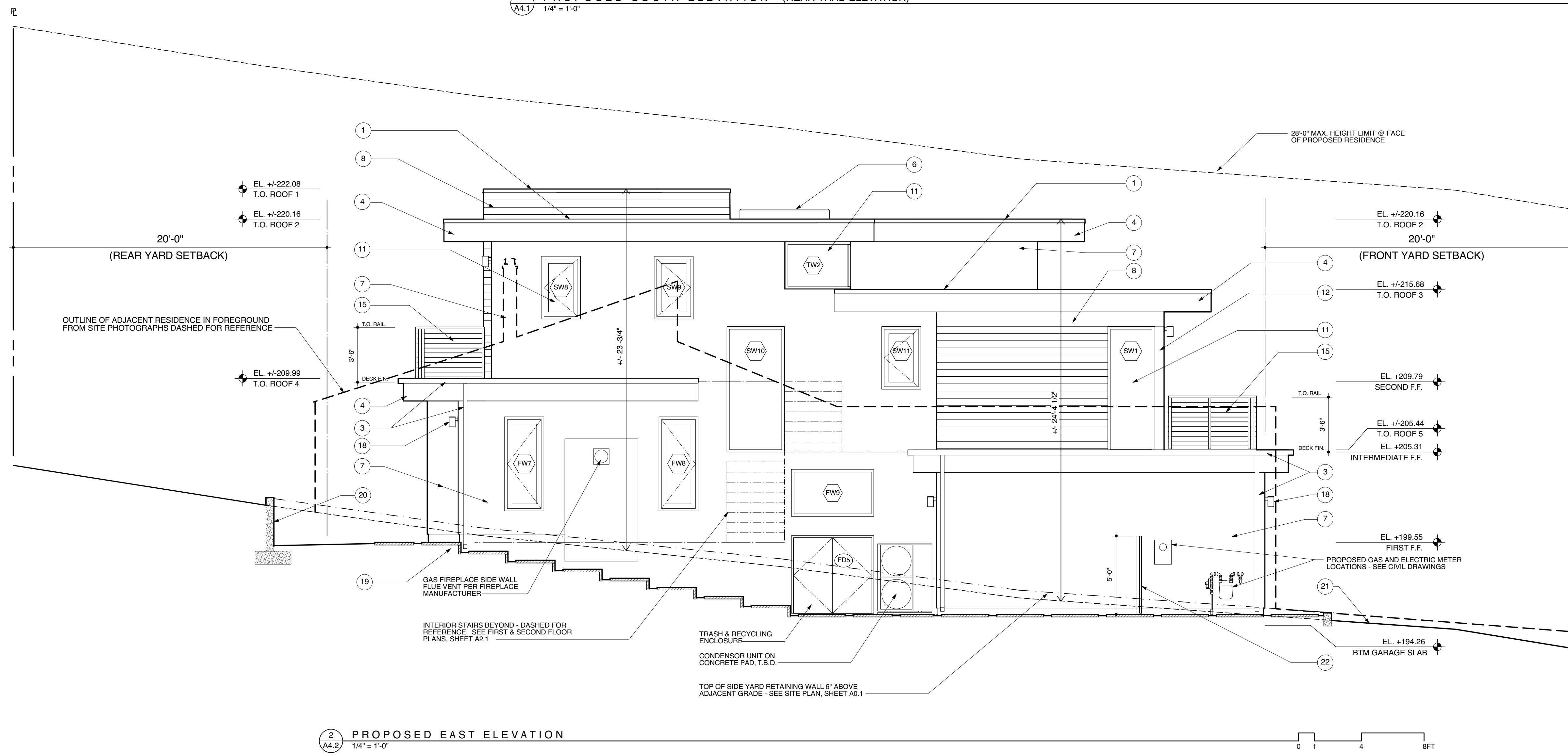
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06.24.22		RESPONSE TO COMMENTS
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**A4.1**

- NOTE LEGEND**
- CLASS 'A' ROOF ASSEMBLY: NATURAL STONE AGGREGATE BALLAST (WHERE VISIBLE) OVER EVERGLARD TPO (THERMOPLASTIC POLYOLEFIN) BALLASTED ROOFING SYSTEM BY GAF - (OR EQUAL) 60 MIL MEMBRANE OVER TAPERED ROOF INSULATION (MIN. 1/2" PER FT) OVER EXTERIOR PLYWOOD OVER ROOF CONSTRUCTION. INSULATE FRAMING CAVITY w/ CLOSED CELL SPRAY FOAM INSULATION BY "BAYSEAL OC" BY BAYER OR APPROVED EQUAL OR PER ENERGY COMPLIANCE DOCUMENTATION. UNVENTED ROOF ASSEMBLY.
  - ROOF DRAIN w/ OVERFLOW BY THUNDERBIRD PRODUCTS' OR APPROVED EQUAL.
  - PAINTED GALVANIZED METAL DOWNSPOUT - BLACK COLOR TO MATCH ROOF FASCIA PER ARCHITECT'S SAMPLE
  - PAINTED GALVANIZED METAL FASCIA @ EDGE OF ROOF ALL AROUND w/ BLACK COLOR PER ARCHITECT'S SAMPLE
  - GALVANIZED METAL TOP OF WALL COPING w/ BLACK COLOR TO MATCH ROOF FASCIA PER ARCHITECT'S SAMPLE
  - FIXED, ALUMINUM FRAME, DUAL-GLAZED SKYLIGHT BY VELLUX OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
  - EXTERIOR CEMENT PLASTER FINISH w/ SMOOTH TROWELLED FINISH OVER WATER-RESISTIVE BARRIER OVER HYDROGAP DRAINABLE HOUSE WRAP OVER 1/2" EXTERIOR PLYWOOD OVER 2x EXTERIOR WALL CONSTRUCTION w/ FIBERGLASS BATT INSULATION.
  - 1 x 6 (NET) T&G CAMARU HORIZONTAL WOOD SIDING OVER WATER-RESISTIVE BARRIER OVER 2x EXTERIOR WALL CONSTRUCTION w/ FIBERGLASS BATT INSULATION.
  - DUAL-GLAZED, TEMPERED, ALUMINUM CLAD SLIDING PATIO DOOR BY 'ANDERSON' OR APPROVED EQUAL - ULTIMATE SERIES w/ BLACK FINISH. SEE DOOR SCHEDULE, SHEET A3.1
  - DUAL-GLAZED, TEMPERED, HINGED ALUMINUM CLAD EXTERIOR DOOR BY 'ANDERSON' OR APPROVED EQUAL - ULTIMATE SERIES w/ BLACK FINISH. SEE DOOR SCHEDULE, SHEET A3.1
  - DUAL-GLAZED, TEMPERED, FIXED / OPERABLE ALUMINUM CLAD WINDOW BY 'ANDERSON' OR APPROVED EQUAL - E-SERIES w/ BLACK FINISH. SEE WINDOW SCHEDULE, SHEET A3.1
  - ALUMINUM BRAKE METAL FINISH OVER W.P. MEMBRANE OVER 1/2" EXT. PLY OVER POST - BLACK FINISH TO MATCH WINDOW / DOOR.
  - OVERHEAD SECTIONAL ALUMINUM FRAMED GARAGE DOOR w/ TEMPERED GLASS INSERTS (TRANSLUCENT GLASS FINISH). BLACK ALUMINUM FRAME FINISH TO MATCH WINDOW / DOOR.
  - EXTERIOR 2x WOOD DECKING OVER P.T.D.F. FRAMING OVER SLOPED TPO MEMBRANE ROOFING TO DRAIN.
  - EXTERIOR RAILING: 2 1/2" SQUARE ALUMINUM POSTS w/ EQUALLY SPACED 1 1/4" THICK STAINLESS STEEL CABLE RAILS @ 3 1/2" o/c. and 1" x 2 1/2" ALUMINUM TOP RAIL @ +42" ABOVE TERRACE FINISH, TYP. BLACK FINISH
  - FRONT ENTRY STAIRS AND ENTRY PATIO
  - EXTERIOR WOOD RAILING w/ TOP RAIL @ +36" ABOVE STAIR NOSING & +42" ABOVE DECK FINISH. EQUALLY SPACED CLEAR OPENINGS BETWEEN VERTICALS LESS THAN 4" MAX., TYP.
  - EXTERIOR WALL MOUNTED DOWNLIGHT BY 'ELEGANT LIGHTING' BLACK METAL FINISH w/ FROSTED GLASS. SERIES No. LDOD4041BK - SEE SPECIFICATION, SHEET A4.1
  - EXTERIOR CONCRETE PAVING / STEPS OVER 4" GRAVEL OVER COMPACTED GRADE. SEE LANDSCAPE PLAN, SHEET L1.1
  - P.I.P. CONCRETE SITE WALL - SEE SITE PLAN, SHEET A0.1
  - (E) GRADE - SHOWN DASHED WHERE REMOVED
  - WOOD FENCE AND HINGED GATE - 1 x 6 (NET) CAMARU VERTICAL WOOD



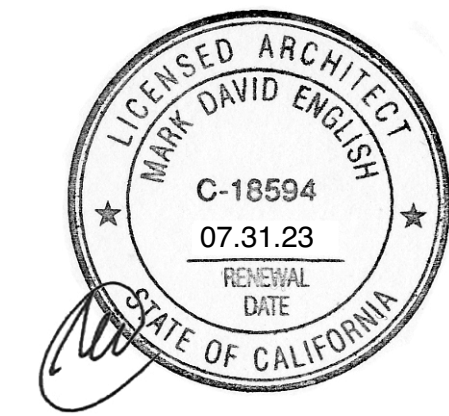
1  
A4.1  
PROPOSED SOUTH ELEVATION (REAR YARD ELEVATION)  
1/4" = 1'-0"



2  
A4.2  
PROPOSED EAST ELEVATION  
1/4" = 1'-0"

NOTE LEGEND

- 1 CLASS 'A' ROOF ASSEMBLY: NATURAL STONE AGGREGATE BALLAST (WHERE VISIBLE) OVER EVERGUARD TPO (THERMOPLASTIC POLYOLEFIN) BALLASTED ROOFING SYSTEM BY 'GAF' - (OR EQUAL) 60 MIL MEMBRANE OVER TAPERED ROOF INSULATION (MIN. 1/2" PER FT) OVER EXTERIOR PLYWOOD OVER ROOF CONSTRUCTION. INSULATE FRAMING CAVITY w/ CLOSED CELL SPRAY FOAM INSULATION BY 'BAYSEAL OC' BY BAYER OR APPROVED EQUAL OR PER ENERGY COMPLIANCE DOCUMENTATION. UNVENTED ROOF ASSEMBLY.
- 2 ROOF DRAIN w/ OVERFLOW BY 'THUNDERBIRD PRODUCTS' OR APPROVED EQUAL.
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- 4 PAINTED GALVANIZED METAL FASCIA @ EDGE OF ROOF ALL AROUND w/ BLACK COLOR PER ARCHITECT'S SAMPLE.
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- 8 1 x 6 (NET) T&G CAMARU HORIZONTAL WOOD SIDING OVER WATER-RESISTIVE BARRIER OVER 2x EXTERIOR WALL CONSTRUCTION w/ FIBERGLASS BATT INSULATION.
- 9 DUAL-GLAZED, TEMPERED, ALUMINUM CLAD SLIDING PATIO DOOR BY 'ANDERSON' OR APPROVED EQUAL - ULTIMATE SERIES w/ BLACK FINISH. SEE DOOR SCHEDULE, SHEET A3.1.
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- 20 P.I.P. CONCRETE SITE WALL - SEE SITE PLAN, SHEET A0.1.
- 21 (E) GRADE - SHOWN DASHED WHERE REMOVED.
- 22 WOOD FENCE AND HINGED GATE - 1 x 6 (NET) CAMARU VERTICAL WOOD.



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APN: 036-067-300  
 PROJECT NUMBER: ZD-01

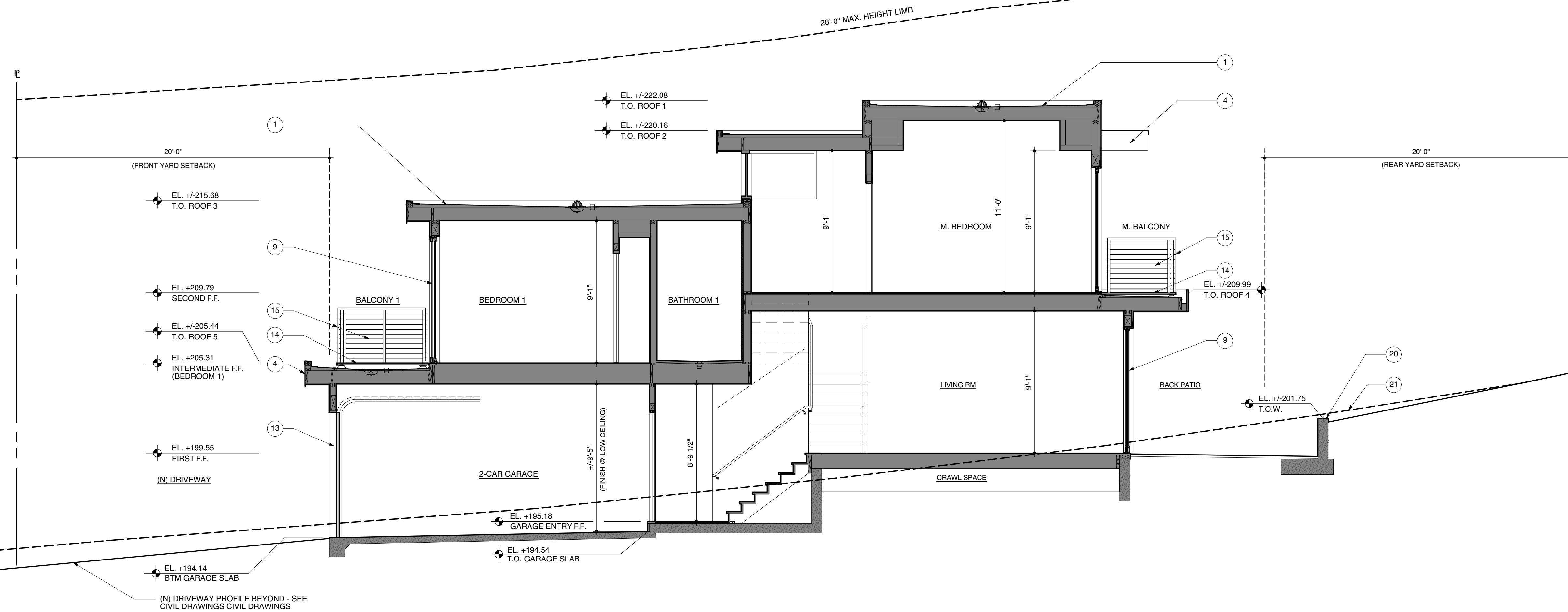
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**PROPOSED EXTERIOR ELAVATIONS**

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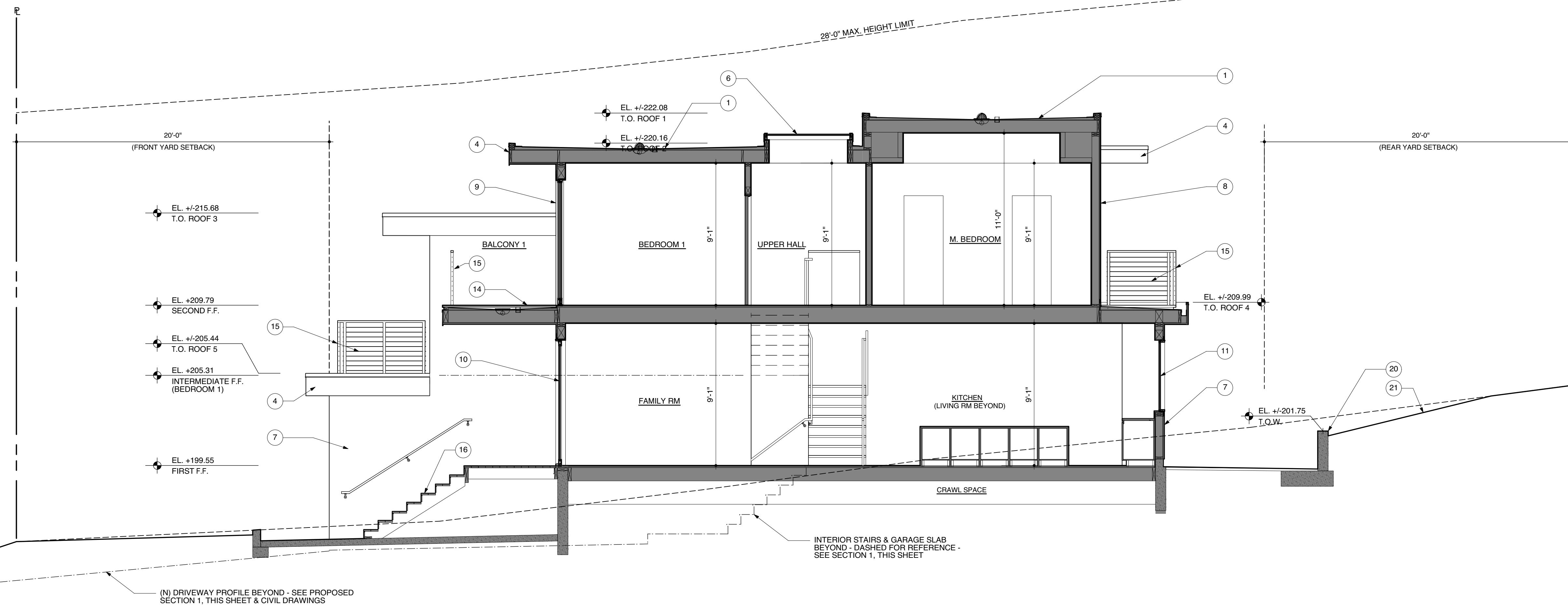
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**A4.2**

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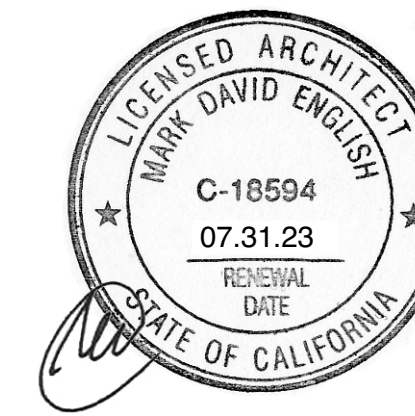


1 PROPOSED BUILDING LONGITUDINAL SECTION  
1/4" = 1'-0"



2 PROPOSED BUILDING CROSS SECTION  
1/4" = 1'-0"

- NOTE LEGEND**
- 1 CLASS 'A' ROOF ASSEMBLY: NATURAL STONE AGGREGATE BALLAST (WHERE VISIBLE) OVER EVERGUARD TPO (THERMOPLASTIC POLYOLEFIN) BALLASTED ROOFING SYSTEM BY 'CAF' - (OR EQUAL) 60 MIL MEMBRANE OVER TAPERED ROOF INSULATION (MIN. 1/2" PER FT) OVER EXTERIOR PLYWOOD OVER ROOF CONSTRUCTION INSULATE FRAMING CAVITY W/ CLOSED CELL SPRAY FOAM INSULATION BY 'BAYCAL OC' BY BAYER OR APPROVED EQUAL OR PER ENERGY COMPLIANCE DOCUMENTATION. UNVENTED ROOF ASSEMBLY.
  - 2 ROOF DRAIN w/ OVERFLOW BY 'THUNDERBIRD PRODUCTS' OR APPROVED EQUAL.
  - 3 PAINTED GALVANIZED METAL DOWNSPOUT - BLACK COLOR TO MATCH ROOF FASCIA PER ARCHITECT'S SAMPLE
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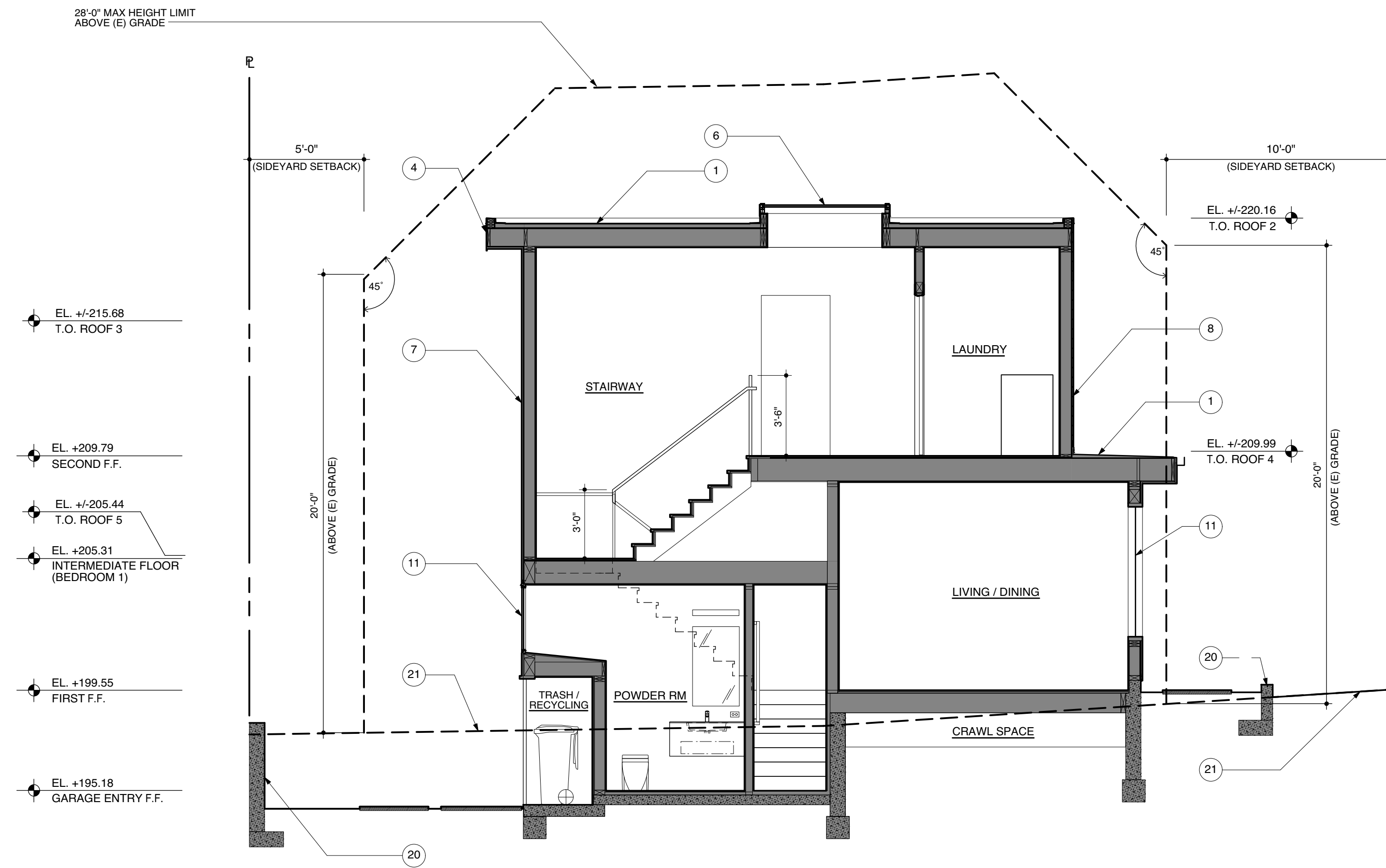
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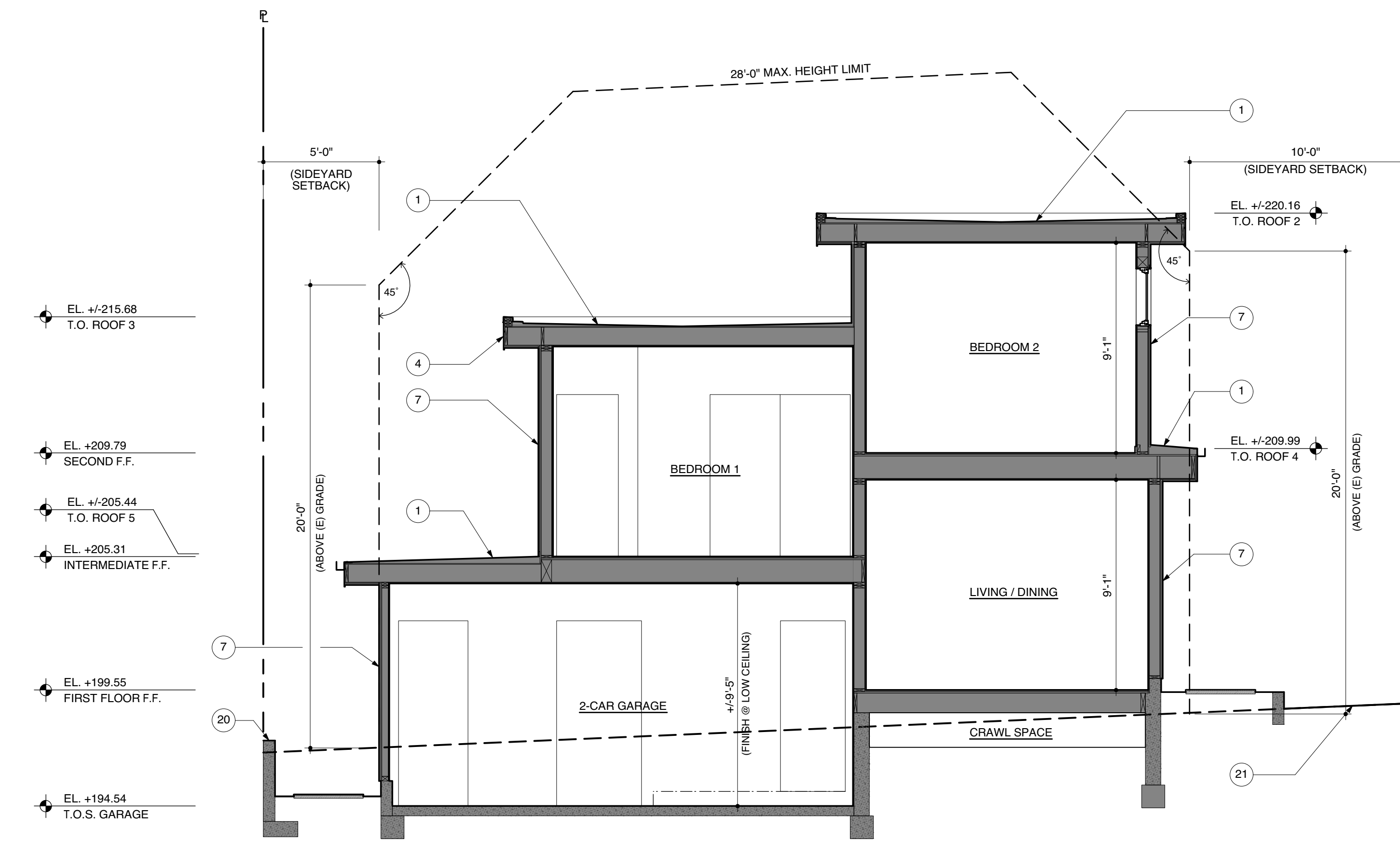
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**A5.1**



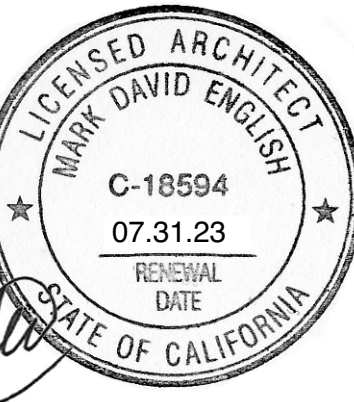
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**A5.2**



MUELO SHORT FORM PRESCRIPTIVE COMPLIANCE NOTES:

- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- UNLESS CONTRAINDICATED BY A SOILS TEST, COMPOST AT THE RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
- PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEMS IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- AREAS LESS THAN 10 FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

COASTSIDE FIRE PROTECTION DISTRICT NOTES:

- A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
- TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

WATER USE ESTIMATION												
REGULAR LANDSCAPE AREAS												
HYDROZONE #	HYDROZONE NAME	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	AREA (SQ. FT.) (HA)	ETAF x AREA (HA)	ETW (GAL/YR)	ACRE FEET YEAR	HCF/ YEAR	PERCENTAGE OF LANDSCAPE
1	TURF	HIGH	0.1	SPRAY	0.15	0.93	368	343	1,184	0.02	10.42	16%
2	MIXED SHRUB/ GROUNDCOVER	LOW	0.2	DRIP	0.81	0.25	1993	492	11,151	0.03	14.93	84%
TOTALS							2361	836	10,961	0.05	25.35	100%

MAWA	GALLONS/YR	29,461
	ACRE FEET/YR	0.09
	HCF/YR	39.39

ETW	GALLONS/YR	10,961
	ACRE FEET/YR	0.06
	HCF/YR	25.35

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
80%	HCF/YR	YES

ETAF CALCULATIONS	
REGULAR LANDSCAPE AREAS	
TOTAL ETAF x AREA	836
TOTAL AREA	2361
AVG. ETAF	35.39%

**MAWA FORMULA**  
 MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR  
 $MAWA = (ET_o \times 0.62 \times LA \times 0.95) + (0.45 \times SLA)$

**ETW FORMULA**  
 ESTIMATED TOTAL WATER USE (ETW) GALLONS PER YEAR  
 $ETW = (ET_o \times 0.62 \times ETAF \times LA)$

ET<sub>o</sub> = REFERENCE EVAPOTRANSPIRATION  
 0.95 = ET ADJUSTMENT FACTOR  
 LA = LANDSCAPE AREA (SQUARE FEET)  
 0.62 = CONVERSION FACTOR (GALLONS SQ. FT/YR)

IE = IRRIGATION EFFICIENCY (0.81) - BUBBLER/DRIP  
 IE = IRRIGATION EFFICIENCY (0.15) - ROTORS/SPRAY

IRRIGATION PLANTED AREA = 2,361 SF  
 TURF IS 15.6% OF PLANTED AREA

NOTE:

PLANT MATERIAL SPECIES ARE DROUGHT TOLERANT NATIVE OR NON-INVASIVE PLANT SPECIES (AS DEFINED BY THE CALIFORNIA INVASIVE PLANT COUNCIL); DROUGHT TOLERANCE OS AS DEFINED IN "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" BY THE EAST BAY MUNICIPAL UTILITY DISTRICT.

SOD IS SELECTED FROM A REDUCED IRRIGATION NEED SEED MIX

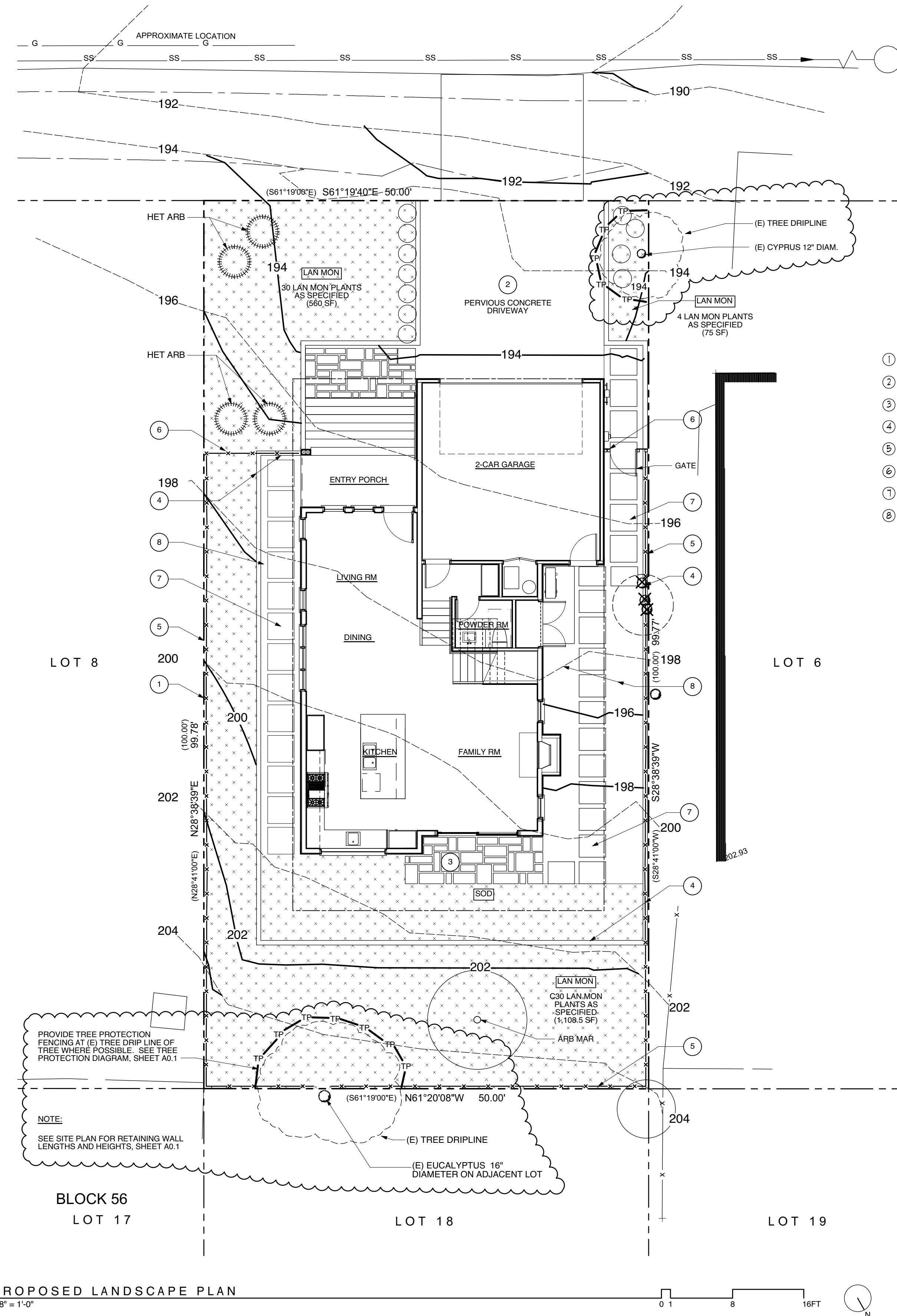
ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS RATING	MISC. NOTES & REQUIREMENTS
<b>TREES</b>					
ARB MAR	ARBUTUS MARINA	STRAWBERRY TREE	15 G.C.	L	MULT. ST.
<b>SHRUBS</b>					
ARB EK	ARBUTUS UNEDO 'ELFIN KING'	STRAWBERRY TREE	5 G.C.	L	MULT. ST./STEM UP
CAL LJ	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DW. WEEPING BOTTLEBRUSH	5 G.C.	L	F 4 B/ BR. GR.
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	15 G.C.	L	
SAL GRE	SALVIA GREGGII	AUTUMN SAGE	1 G.C.	L	
WES UG	WESTRINGIA FRUITICOSA 'WYNYABBIE GEM'	COAST ROSEMARY	1 G.C.	L	
<b>PERENNIALS/ BULBS/ ANNUALS</b>					
ACH ML	ACHILLEA FILIPENDULINA 'MOONLIGHT'	FERN LEAF YARROW	1 G.C.	L	
DIE B/C	DIETES BICOLOR	FORTNIGHT LILY	1 G.C.	L	
ERI KAR	ERIGERON KARVYNSKIANUS 'MOERHEIMLE'	FLEABANE	1 G.C.	L	
IRI PAC	IRIS 'PACIFIC COAST HYBRIDS'	PACIFIC COAST IRIS	1 G.C.	L	
LIM PER	LIMONILUM PEREZIL	SEA LAVENDER	1 G.C.	L	
<b>GROUND COVERS</b>					
LAN MON	LANTANA MONTEVIDENSIS	TRAILING LANTANA	1 G.C.	L	PLANT AT 2'-6" O.C.
RIB VIB	RIBES VIBUMIFOLIUM	EVERGREEN CURRANT	1 G.C.	L	PLANT AT 4'-0" O.C.
<b>LAWN (SOD)</b>					
SOD	SODDED LAWN SHALL BE 'MOW-FREE' AVAILABLE THROUGH DELTA BLUEGRASS (109) 469-1978 OR EQUAL			H	

1. SEE SPECIFICATIONS FOR PLANTING/ TIMING FOR SEASONAL BULB AND TUBER INSTALLATION  
 2. WUCOLS RATINGS: V L (VERY LOW) = 1 TO 2 ETO L (LOW) = 3 TO 3 ETO M (MODERATE) = 4 TO 6 ETO H (HIGH) = 70-90 ETO

PLANT LIST ABBREVIATIONS:	
NOTE:	
SL	SINGLE MAIN, STRAIGHT, DOMINANT, LEADER
HL BR	HIGH BRANCHED - LOWEST LIMBS HELD ABOVE ROOTBALL 5' MIN. FOR 15 GALLON CAN 6' MIN. FOR 24" BOX TREES
NO TOP	NO TOPPING OR PRUNING OF UPPER BRANCHES
BR GR	BRANCHED TO GROUND
F 4 B	FULL DENSE BUSHY, VIGOROUS PLANTS, WITH YOUNG GROWTH CLOSELY SPACED ON BRANCHES, NO OLD/ WOODY PLANTS
NV.S. - 30 DEG.	NV.S. - 30 DEG.
NV.S. - 45 DEG.	NV.S. - 45 DEG.
NO WHORL BR	NO WHORL BR.
MATCH	MATCH
TF	TREE FORM
SF	SHRUB FORM
NF	NARROW UPRIGHT FORM
BR	BARE ROOT
B 4 B	BALLED AND BURLAP
MULTI. ST.	MULTI. STEMMED.
FLAT	ROOTED CUTTINGS FROM FLATS AT ON CENTER DISTANCE SPECIFIED IN LIST. SEE GROUNDCOVER/ SHRUB O.C. PLANTING DETAIL FOR LAYOUT
CAL.	CALIPER
EV.	EVERGREEN
G.C.	GALLON CAN
NCN.	NO COMMON NAME
TRAIL F	SELECT TRAILING FORMS FOR PROSTRATE GROWTH
VEG. GR.	VEGETATIVE GROUND
HED. F.	HEDGE FORM (CLIPPED)
STEM UP.	STEM UP TO EXPOSE TRUNK AND LOWER BRANCH PATTERN
O.C.	ON CENTER
N. DRP. BR.	NO LONG HEAVY DROOPING BRANCHES



- KEY NOTES**
- PROPERTY LINE
  - PERVIOUS CONCRETE DRIVEWAY - SEE CIVIL DUGS
  - STONE PAVING
  - RETAINING WALL - SEE CIVIL DUGS
  - 6 FT HIGH FENCE AT PROPERTY LINE - SEE ARCHITECTURAL DUGS
  - FENCE RETURN (TO BLDG.)
  - STEPPING STONES
  - BLACK BARK MULCH
- PROPOSED TREES WILL NOT OVERHANG OR TOUCH THE PROPOSED RESIDENCE.  
 ALL PROPOSED PLANTING TO BE IRRIGATED. PROPOSED PLANT SPECIES NOT HIGHLY COMBUSTIBLE.  
 PROPOSED MATERIALS DIRECTLY ADJACENT TO THE PROPOSED RESIDENCE ARE IRRIGATED TURF, IRRIGATED GROUND COVER, IRRIGATED SHRUBS, OR PAVING MATERIALS.
- NOTES:**
- REFER TO CIVIL DUGS FOR GRADING AND STORMWATER  
 REFER TO CIVIL DUGS FOR UTILITIES.



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**NEW RESIDENCE  
 5TH STREET  
 MONTARA, CA 94037**

APN: 036-067-300  
 PROJECT NUMBER: ZD-01

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DRAWING:  
**LANDSCAPE PLAN, PLANT LIST,  
 WATER USE ESTIMATE**

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DRAFTED BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

PRINT DATE: 08.03.22 SCALE: 1/8" = 1'-0"

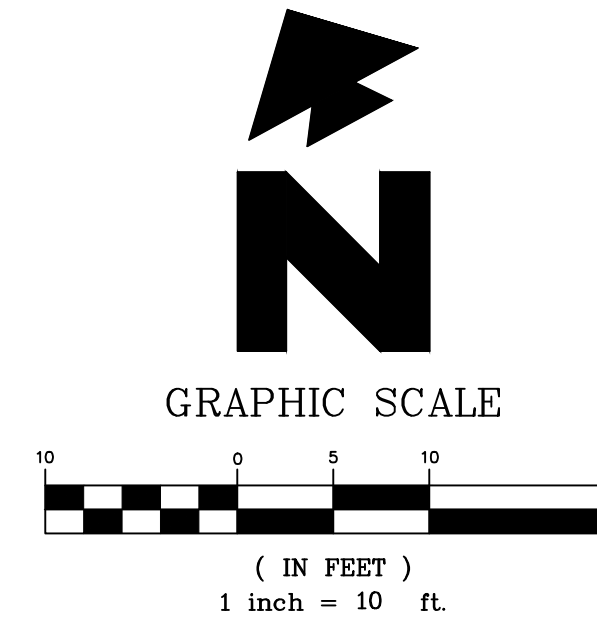
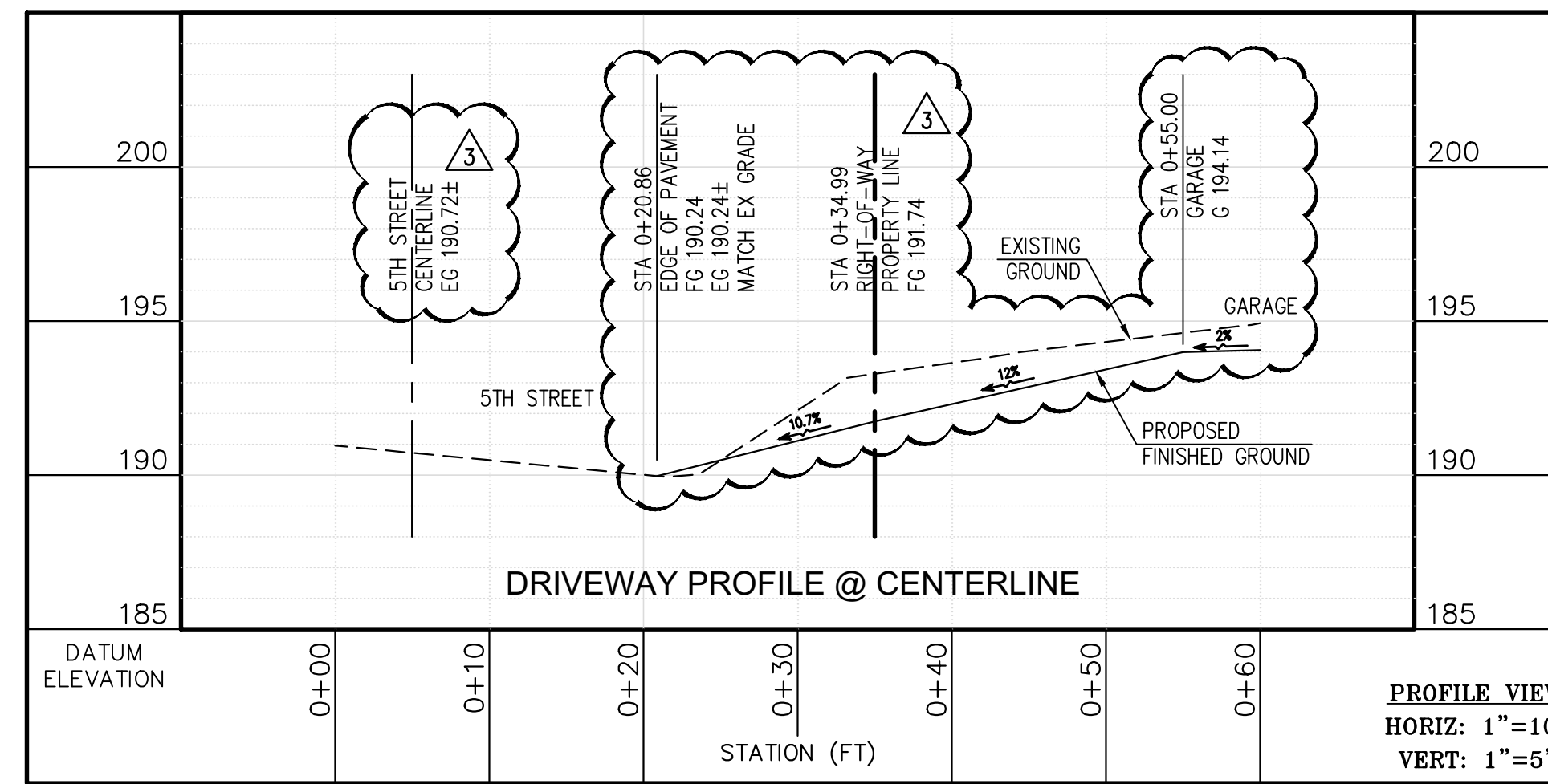
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SUBMITTALS / REVISIONS:

NO.	DATE	DESCRIPTION
04.29.22		SUBMIT TO PLANNING
06.24.22		RESPONSE TO COMMENTS
08.03.22		RESPONSE TO COMMENTS

L1.1

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PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:

AREA TYPE	EXISTING (SF)	PROPOSED (SF)
LOT AREA	4,989 SF	4,989 SF
	0.115 ACRE	0.115 ACRE
TOTAL LAND DISTURBANCE		4,989
HOUSE (ROOF) *	N/A	1,779
PATIO/HARDSCAPE	N/A	340
DRIVEWAY	N/A	382
RETAINING WALL	N/A	136
TOTAL IMPERVIOUS AREA	0	2,637
NET IMPERVIOUS AREA INCREASED		2,637
PERVIOUS AREA	4,989	2,352
TOTAL PERVIOUS AREA	4,989	2,352

\* INCLUDES ROOF OVERHANG

EARTHWORK VOLUME:  
(INCLUDES BUILDING PAD)

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	45
CUT	195
TOTAL EARTHWORK	150 (HAUL OFF)
TOTAL EARTHWORK ACTIVITY	240 CY < 250 CY

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT

GENERAL NOTES:

- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
- CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
- STORM DRAIN PIPE BEDDING & TRENCH BACKFILL SHALL BE INSTALLED PER DETAIL #1/C3

LEGEND

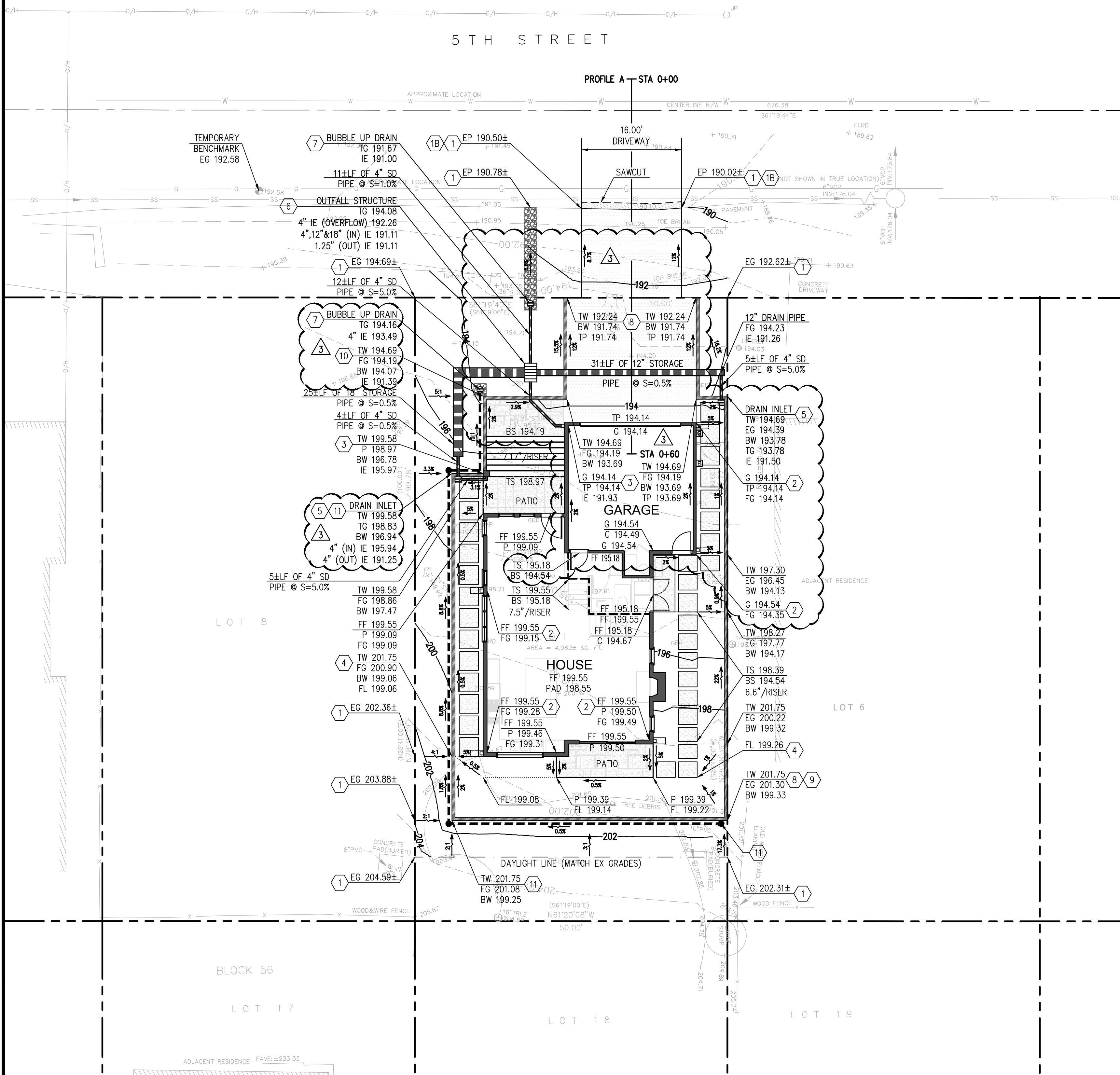
- = PROPERTY LINE
- = STREET CENTER LINE
- = EX. ROLLED CURB
- = EX. SPOT ELEVATION
- = FLOW DIRECTION
- = GRADE BREAK
- = FLOW LINE
- = OUTFALL STRUCTURE
- = AREA DRAIN INLET
- = BUBBLE UP DRAIN
- = STORM DRAIN PIPE
- = 4"PERFORATED PIPE
- = STORM DRAIN CLEANOUT

ABBREVIATIONS:

- APN = ASSESSOR PARCEL NUMBER
- BS = BOTTOM OF STEP
- BOW = BACK OF WALK
- BW = BOTTOM OF WALL
- C = CONCRETE
- EG = EXISTING GRADE
- EX = EXISTING
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOWLINE
- G = GARAGE
- IE = INVERT ELEVATION
- R/W = RIGHT OF WAY
- S = SLOPE
- SD = STORM DRAIN
- L = LAWN
- LF = LINEAL FEET
- L.O.W. = LIMIT OF WORK
- N = NEW
- P = PATIO
- S = SLOPE
- SD = STORM DRAIN
- TC = TOP OF CURB
- TG = TOP OF GRATE
- TS = TOP OF STEP
- TW = TOP OF WALL
- TYP = TYPICAL

GRADING NOTES

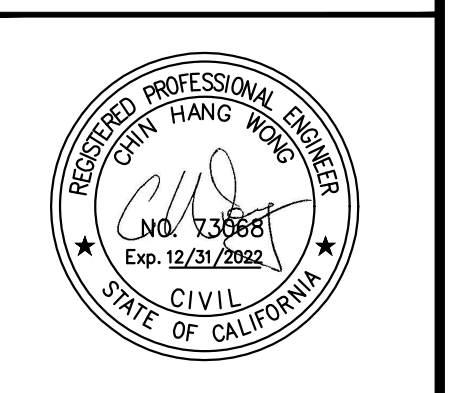
- MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES.
- BEGIN/END ASPHALT SWALE AT EDGE OF PAVEMENT PER DETAIL #2F/C4
- DOWNSPOUT WITH CONCRETE SPLASH PAD PER DETAIL #1A/C4
- RAINWATER LEADER PER DETAIL #1B/C4
- BEGIN/END SWALE PER DETAIL #2B/C4
- AREA DRAIN PER DETAIL #3B/C4
- OUTFALL STRUCTURE AT LANDSCAPE AREA PER DETAIL #8B/C4
- BUBBLE UP DRAIN PER DETAIL #4B/C4. DRAINAGE DESIGN WILL NEED TO COMPLY WITH DRAINAGE MANUAL AND DESIGN STORM FROM DETENTION SYSTEM TO DRAIN WITHIN 72 HOURS.
- BEGIN/END SITE RETAINING WALL
- BEGIN 4" PERFORATED PIPE AT SITE RETAINING WALL FOOTING. SEE STRUCTURAL PLANS FOR EXACT PLACEMENT.
- END 4" PERFORATED PIPE. BEGIN 4" STORM DRAIN PIPE TO BUBBLE UP DRAIN
- STORM DRAIN CLEANOUT PER DETAIL #10/C4



REV.	DATE	DESCRIPTION
1	7/26/22	REVISION PER COMMENT
2	8/2/22	REVISION PER PUBLIC WORKS COMMENTS, 7/26/22

GRADING & DRAINAGE PLAN  
NEW RESIDENCE  
5TH STREET  
MONTARA, CA 94037

**GREEN**  
CIVIL ENGINEERING, INC  
INFO@GREEN-CE.COM  
1900 S. NORFOLK ST. SUITE #350  
SAN MATEO, CA 94403



SCALE

VERTICAL: 1"= AS SHOWN  
HORIZONTAL: 1"= AS SHOWN

DATE: 08/19/2021

DESIGNED: HCL

DRAWN: BL

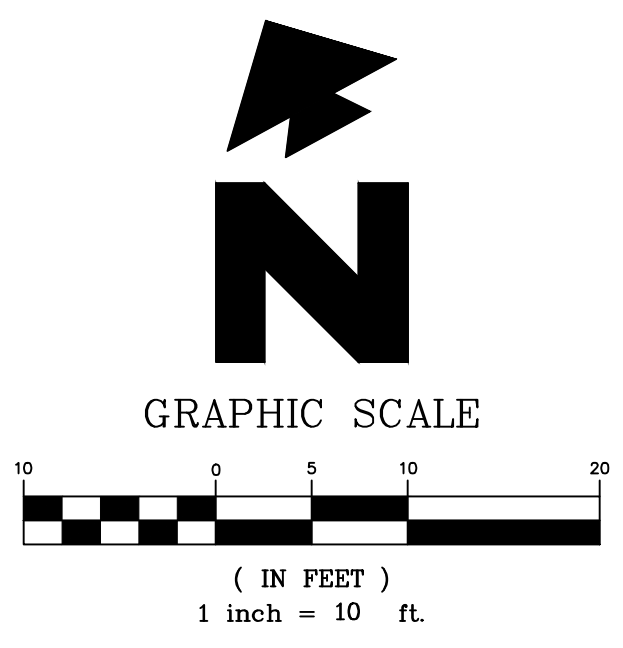
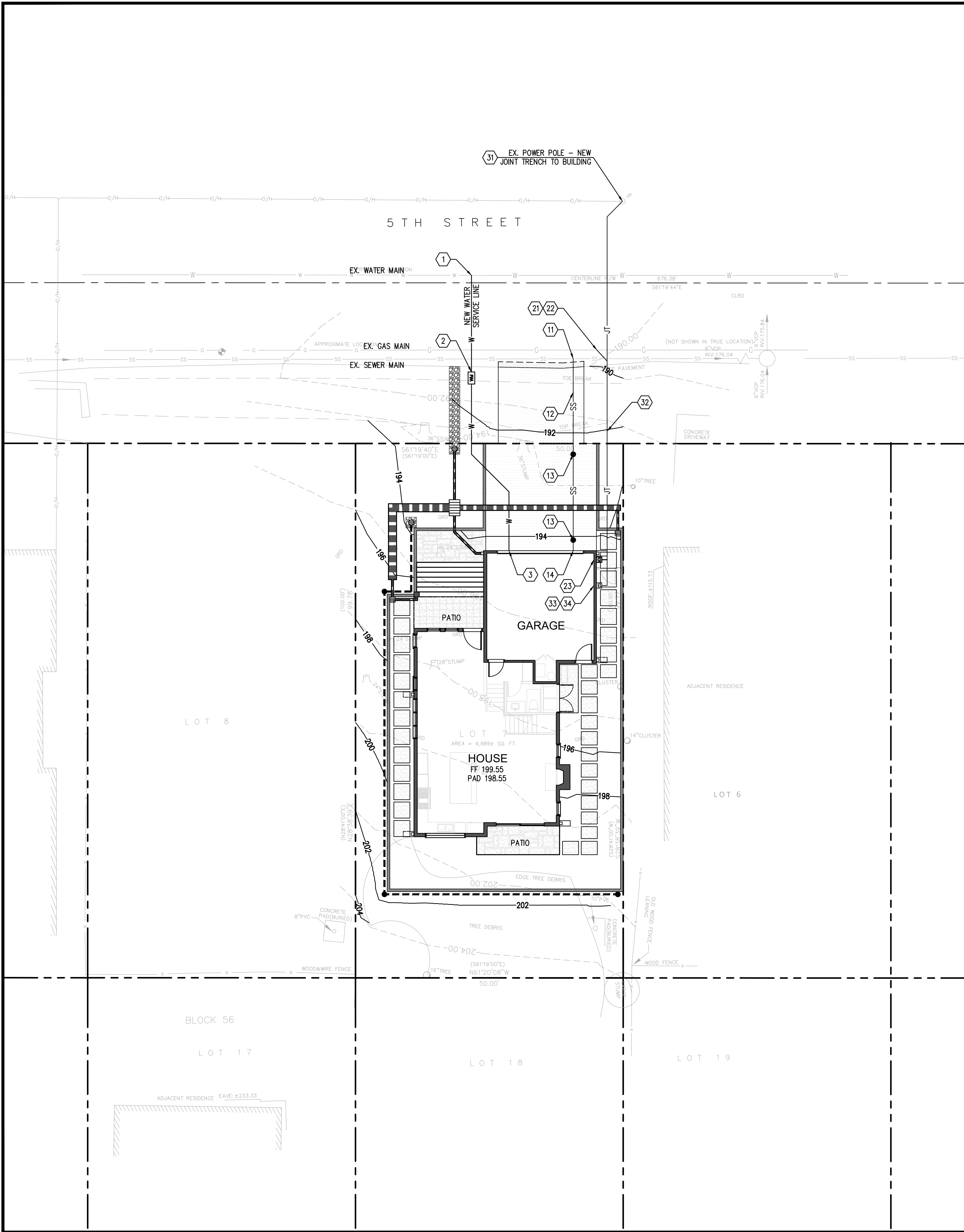
REVIEWED: HCL

JOB NO.: 20210029

SHEET  
**C1**  
1 OF 5 SHEET

STORMWATER MANAGEMENT CONSTRUCTION APPROVAL FORM (CAF)

CONTRACTOR SHALL COORDINATE WITH PROJECT CIVIL ENGINEER RELATED TO STORMWATER MANAGEMENT CONSTRUCTION WORK PERIODICALLY AS NEEDED. ALL CONSTRUCTION OBSERVATION LETTER(S) SHALL BE SUBMITTED TO THE COUNTY AND APPROVAL OF CAF IS REQUIRED BEFORE FINAL INSPECTION SIGN OFF.



**UTILITY GENERAL NOTES:**

- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
- UTILITY INSTALLATION SHALL BE IN ACCORDANCE TO COUNTY OF SAN MATEO UTILITY STANDARD FOR WATER, GAS & WASTEWATER.
- UTILITY PIPE BEDDING & TRENCH BACKFILL INSTALLED PER DETAIL.
- ALL SANITARY SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- A SEWER PERMIT MUST BE OBTAINED FROM PUBLIC WORKS DEPARTMENT PRIOR TO THE START OF ANY SEWER CONSTRUCTION WORK
- UTILITY INSTALLATION IF ANY SHALL BE IN ACCORDANCE WITH COUNTY OF SAN MATEO STANDARDS
- A SEWER LATERAL VIDEO REPORT AND CCTV DVD VIDEO SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT, DEPENDING ON THE RESULTS OF THE REPORT, THE PROPERTY OWNER MAY BE REQUIRED TO REPLACE OR REPAIR THE SEWER LATERAL AT HIS/HER OWN COST. AT A MINIMUM, A CLEANOUT SHALL BE INSTALLED AT THE BUILDING FOUNDATION AND AT THE PROPERTY LINE IF NONE ARE EXISTING. PUBLIC WORKS MUST APPROVE THIS REPORT PRIOR TO RECEIVING A BUILDING PERMIT FINAL.
- PRIOR TO ANY UTILITY INSTALLATION, CONTRACTOR SHALL CONFIRM SIZE AND TYPE OF EXISTING UTILITIES. STOP WORK AND CONTACT THE PROJECT CIVIL ENGINEER IF DISCREPANCIES FOUND.
- MINIMUM COVER FROM FINISHED SURFACE TO TOP OF PIPE SHALL BE 36 INCHES IN VEHICULAR TRAFFIC AREAS AND 24 INCHES IN NON TRAFFIC AREAS.

**LEGEND**

	PROPOSED ELECTRIC METER		EXISTING SANITARY SEWER LINE
	PROPOSED GAS METER		EXISTING WATERLINE
	PROPOSED SANITARY SEWER CLEANOUT WITH CHRISTY GS VALVE BOX		PROPOSED GAS LINE
	EXISTING WATER METER		PROPOSED SANITARY SEWER LINE
	EXISTING GAS LINE		PROPOSED WATER LINE
	EXISTING OVERHEAD LINE		PROPOSED JOINT TRENCH
	ABBREVIATIONS:		= OUTFALL STRUCTURE
EX	= EXISTING		= AREA DRAIN INLET
FF	= FINISHED FLOOR		= BUBBLE UP DRAIN
IE	= INVERT ELEVATION		= STORM DRAIN PIPE
LF	= LINEAL FOOT		= 4" PERFORATED PIPE
N	= NEW		= STORM DRAIN CLEANOUT
S	= SLOPE		

**UTILITY NOTES**

- WATER CONNECTION TO EXISTING WATER MAIN
- NEW WATER METER
- DOMESTIC SERVICE ENTRY. SEE ARCH. PLANS FOR EXACT LOCATION
- SEWER LATERAL CONNECTION TO EXISTING SEWER MAIN. MATCH EXISTING INVERT ELEVATION
- PROVIDE NEW 4" SANITARY SEWER LATERAL TO NEW BUILDING AT MINIMUM 2% SLOPE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER SERVICE ENTRY. SEE ARCH PLANS FOR EXACT LOCATION. PROVIDE 2% MINIMUM SLOPE.
- CONNECTION TO EXISTING GAS LINE. CONTRACTOR SHALL VERIFY EXACT LOCATION, SIZE, MATERIAL AND DEPTH WITH PG&E PRIOR TO INSTALLATION.
- EXTEND 1" GAS LINE IN JOINT TRENCH TO NEW BUILDING
- INSTALL NEW GAS METER. SEE ARCH. PLANS FOR EXACT LOCATION.
- CONNECTION TO EXISTING UTILITY POLE. CONTRACTOR SHALL VERIFY WITH PG&E PRIOR TO ANY CONSTRUCTION.
- JOINT TRENCH TO NEW BUILDING
- ELECTRICAL METER. SEE ARCH PLANS FOR EXACT LOCATION.
- ELECTRIC, TELEPHONE & CABLE SERVICE ENTRY. SEE ARCH. PLANS FOR EXACT LOCATION

REV.	DATE	DESCRIPTION
1	7/26/22	REVISION PER COMMENT
2	8/2/22	REVISION PER PUBLIC WORKS COMMENTS, 7/26/22

**UTILITY PLAN**  
**NEW RESIDENCE**  
**5TH STREET**  
**MONTARA, CA 94037**

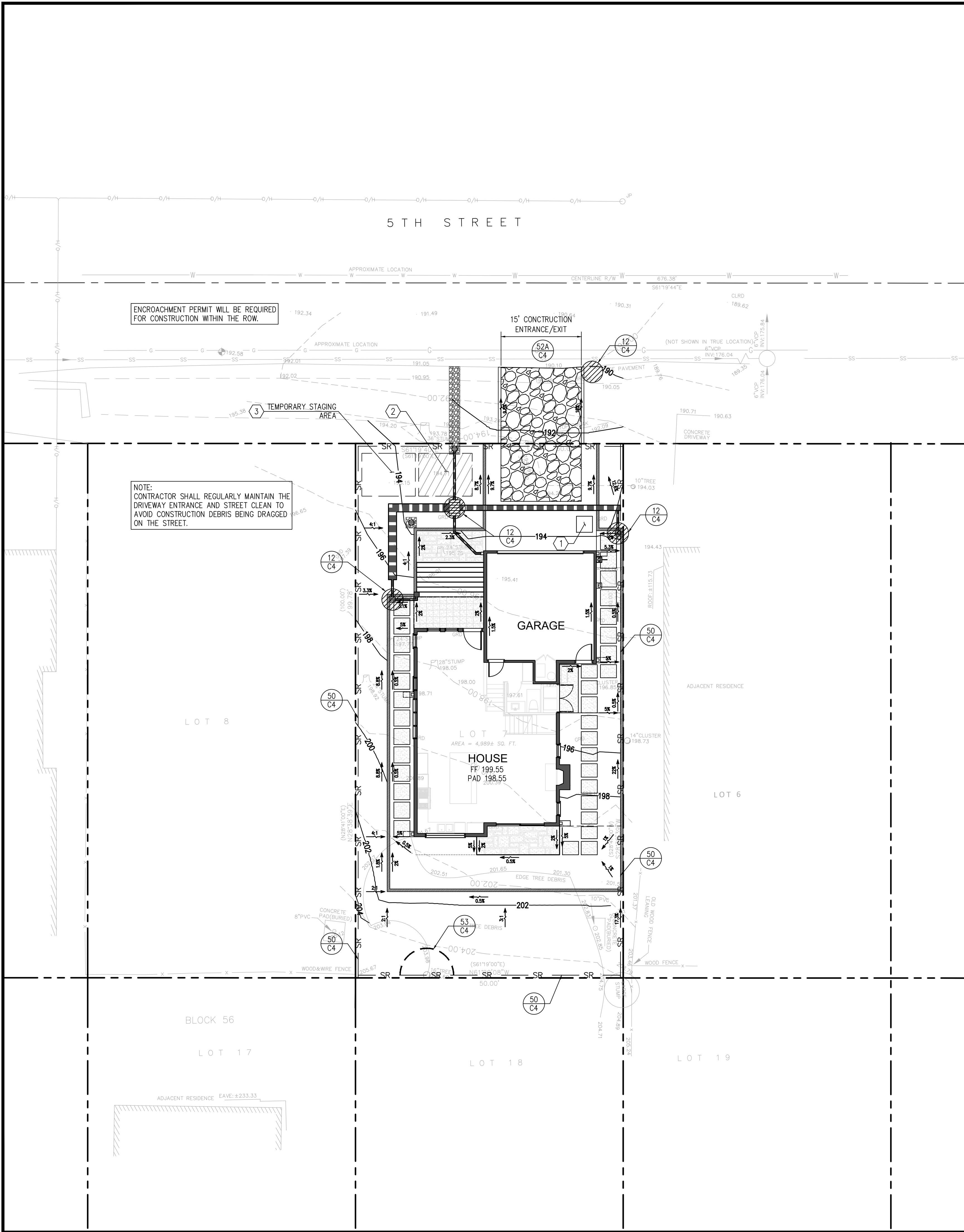
**GREEN**  
 CIVIL ENGINEERING, INC.  
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 1900 S. NORFOLK ST. SUITE #350  
 SAN MATEO, CA 94403



**SCALE**

VERTICAL: 1"= AS SHOWN  
 HORIZONTAL: 1"= AS SHOWN

DATE: 08/19/2021  
 DESIGNED: HCL  
 DRAWN: BL  
 REVIEWED: HCL  
 JOB NO.: 20210029



### EROSION AND SEDIMENT CONTROL NOTES AND MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER.
- IF HYDROSEEDING IS NOT USED, THEN OTHER METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF: 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. CONTACT TOWN OF PORTOLA VALLEY FOR APPROVED SEED MIX. UTILIZE EROSION FABRIC ON DISTURBED SLOPES GREATER THAN 2:1.
- DURING WINTER MONTHS, ALL DISTURBED SLOPES GREATER THAN 2:1 SHALL HAVE MANDATORY EROSION CONTROL FABRIC.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS OF FUTURE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATELY REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- DEMOLITION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- WITH THE APPROVAL OF THE CITY INSPECTOR, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR ROUND. STABILIZE ALL DENUDE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WAS WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINT.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- PLACEMENT OF EROSION MATERIALS IS REQUIRED ON WEEKENDS DURING THE WET SEASON AND DURING RAIN EVENTS.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

### LEGEND

← FLOW DIRECTION

SR STRAW ROLL (50 C4)

CONSTRUCTION ENTRANCE (52A C4)

INLET PROTECTION (12 C4)

TREE PROTECTION (53 C4)

ABBREVIATIONS:  
E = EXISTING  
SR = STRAW ROLL

### EROSION CONTROL NOTES

- TEMPORARY SANITARY FACILITY. COLOR TO BE BROWN OR GREEN. CONTRACTOR SHALL LOCATE PORTABLE TOILETS AWAY FROM SURFACE
- CONCRETE WASHOUT AREA PER CALTRANS CONCRETE WASTE MANAGEMENT DETAIL WM-B. NO CONCRETE, MORTAR OR STUCCO WASHOUT IS ALLOWED ON THE SOIL/GROUND.
- TEMPORARY STAGING AREA. CONTRACTOR SHALL PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER SEDIMENT BARRIER SUCH AS FIBER ROLL.

### MAINTENANCE NOTES:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.

### EROSION CONTROL PLAN

NEW RESIDENCE  
5TH STREET  
MONTARA, CA 94037

ENCROACHMENT PERMIT WILL BE REQUIRED FOR CONSTRUCTION WITHIN THE ROW.

NOTE: CONTRACTOR SHALL REGULARLY MAINTAIN THE DRIVEWAY ENTRANCE AND STREET CLEAN TO AVOID CONSTRUCTION DEBRIS BEING DRAGGED ON THE STREET.

EROSION AND SEDIMENT CONTROL NOTES AND MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER.
- IF HYDROSEEDING IS NOT USED, THEN OTHER METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF: 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. CONTACT TOWN OF PORTOLA VALLEY FOR APPROVED SEED MIX. UTILIZE EROSION FABRIC ON DISTURBED SLOPES GREATER THAN 2:1.
- DURING WINTER MONTHS, ALL DISTURBED SLOPES GREATER THAN 2:1 SHALL HAVE MANDATORY EROSION CONTROL FABRIC.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.
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- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATELY REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- DEMOLITION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- WITH THE APPROVAL OF THE CITY INSPECTOR, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR ROUND. STABILIZE ALL DENUDE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WAS WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINT.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- PLACEMENT OF EROSION MATERIALS IS REQUIRED ON WEEKENDS DURING THE WET SEASON AND DURING RAIN EVENTS.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

MAINTENANCE NOTES:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.

SCALE

VERTICAL: 1"= AS SHOWN  
HORIZONTAL: 1"= AS SHOWN

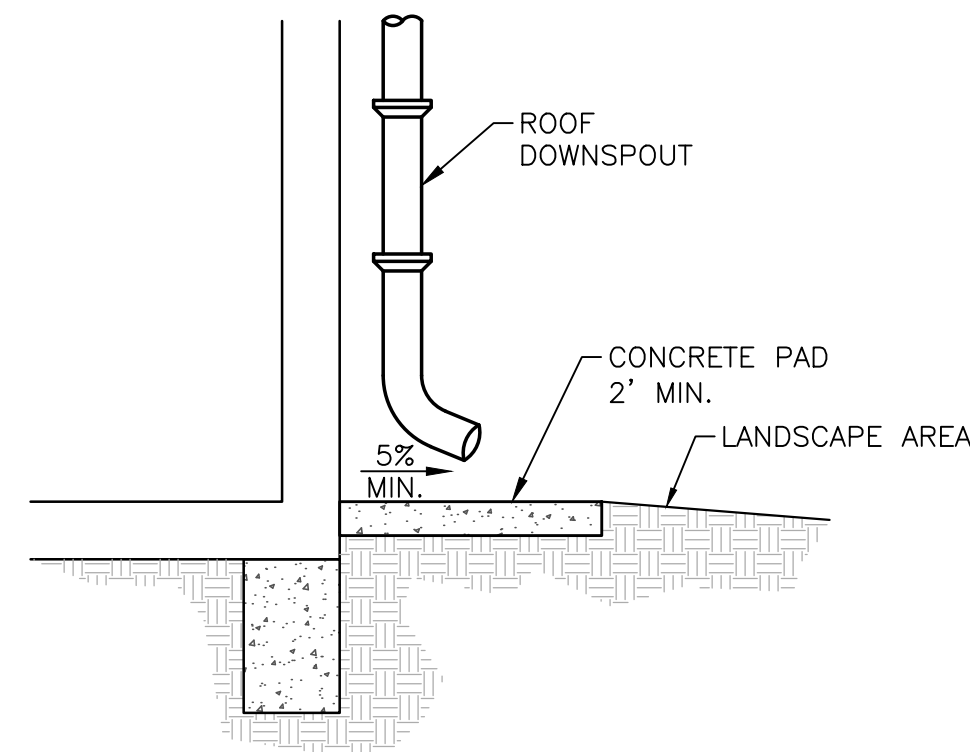
DATE: 08/19/2021  
DESIGNED: HCL  
DRAWN: BL  
REVIEWED: HCL  
JOB NO.: 20210029

SHEET  
**C3**  
3 OF 5 SHEET

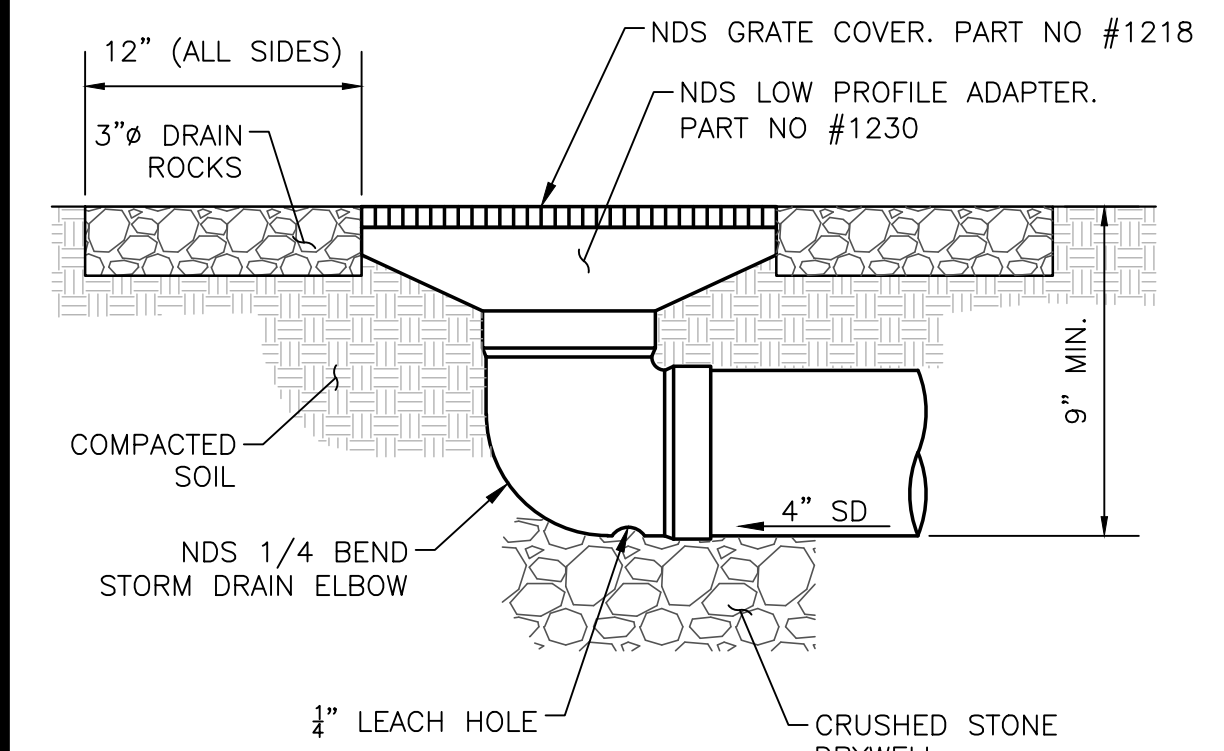
GREEN ENGINEERING, INC  
CIVIL ENGINEERING, INC  
INFO@GREEN-CE.COM  
1900 S. NORFOLK ST. SUITE #350  
SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER  
CHANG HANG WONG  
No. 13366  
Exp. 12/31/2022  
CIVIL  
STATE OF CALIFORNIA

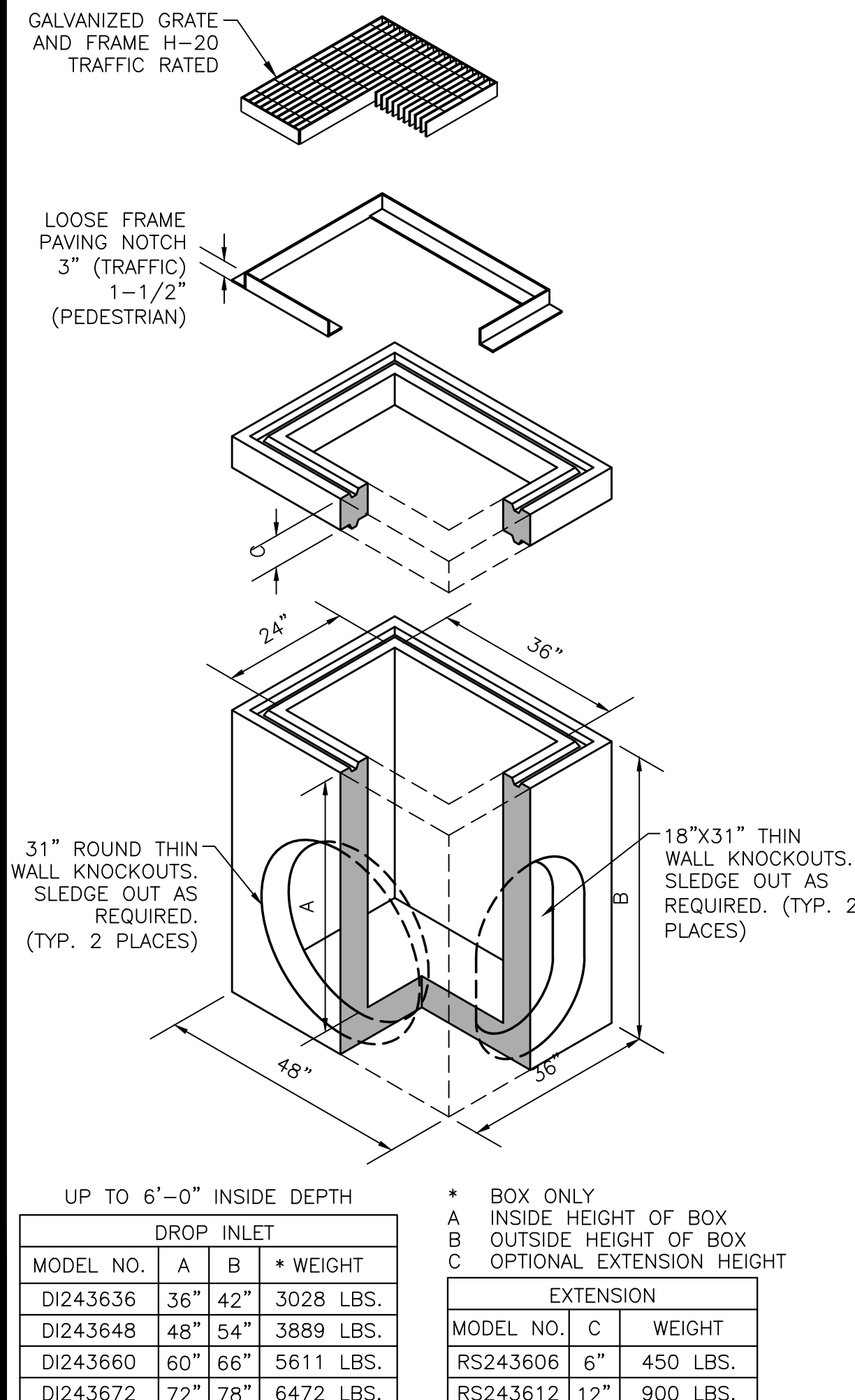
REV.	DATE	DESCRIPTION
1	7/26/22	REVISION PER COMMENT
2	8/2/22	REVISION PER PUBLIC WORKS COMMENTS, 7/26/22



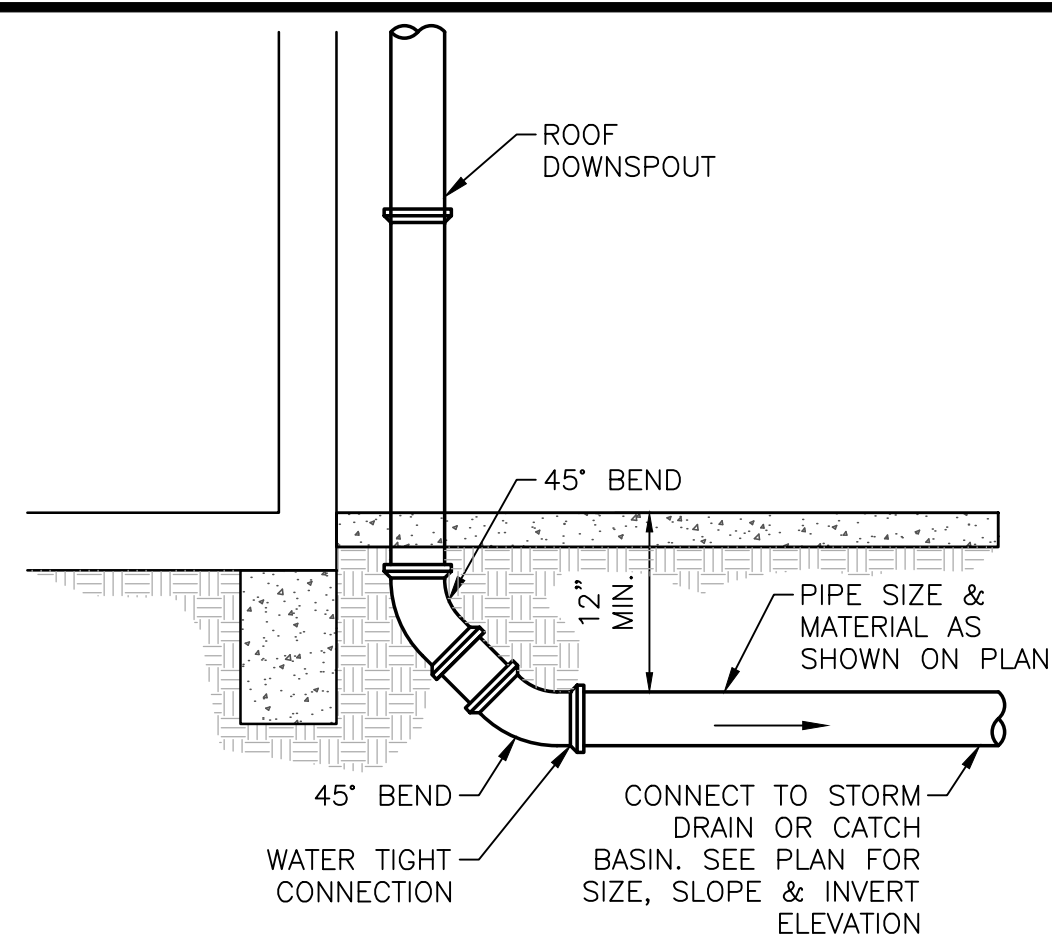
1A CONCRETE SPLASH PAD N.T.S.



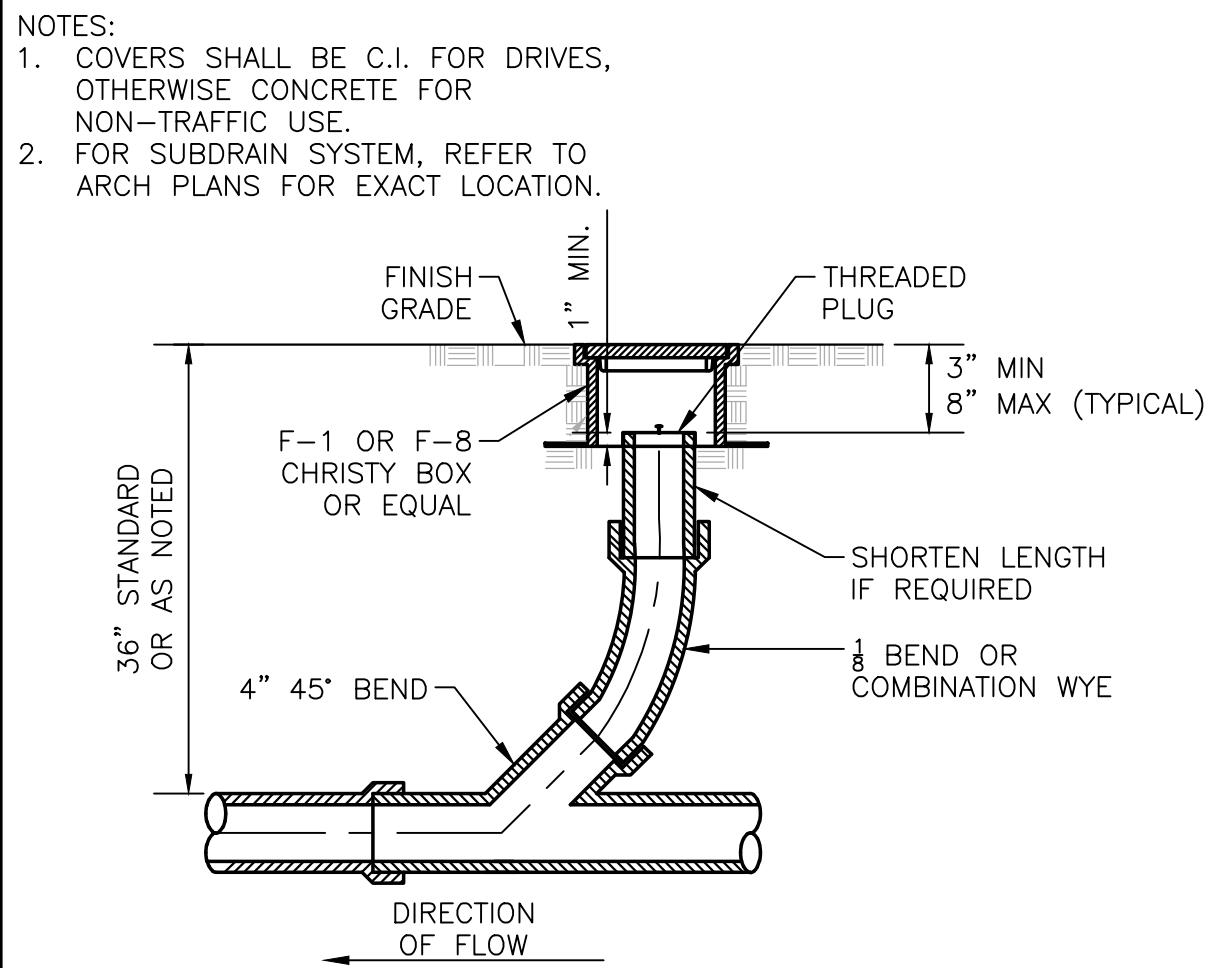
4B POP-UP DRAINAGE EMITTER N.T.S.



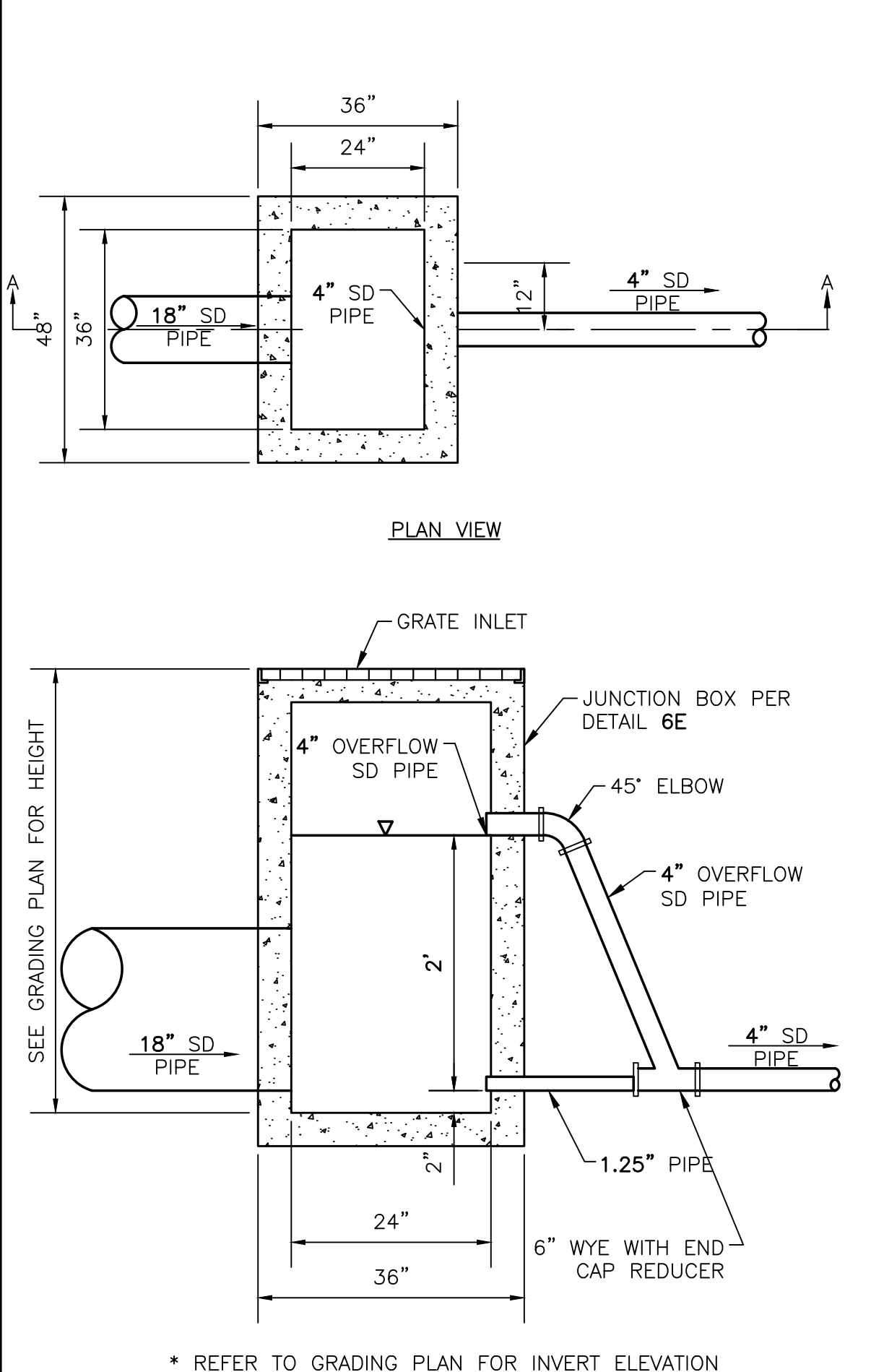
6E 24x36" JUNCTION BOX BY JENSEN PRECAST N.T.S.



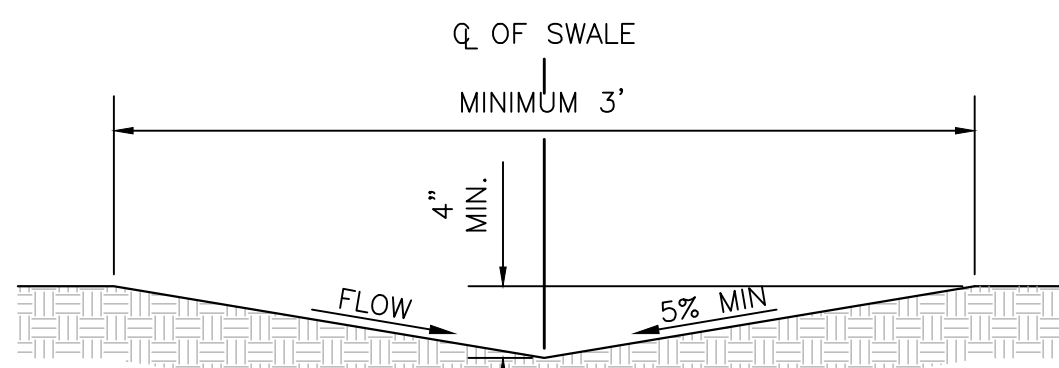
1B RAINWATER LEADER N.T.S.



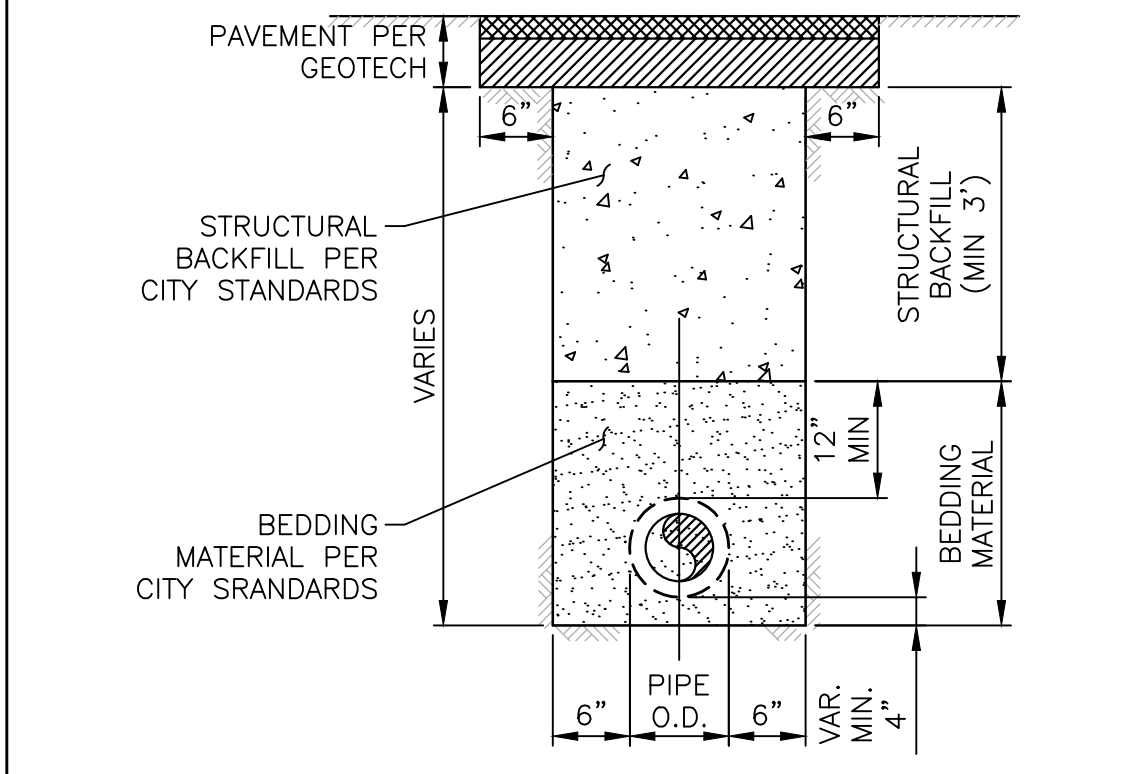
10 CLEANOUT N.T.S.



8B 24x36" DETENTION OUTFALL STRUCTURE N.T.S.

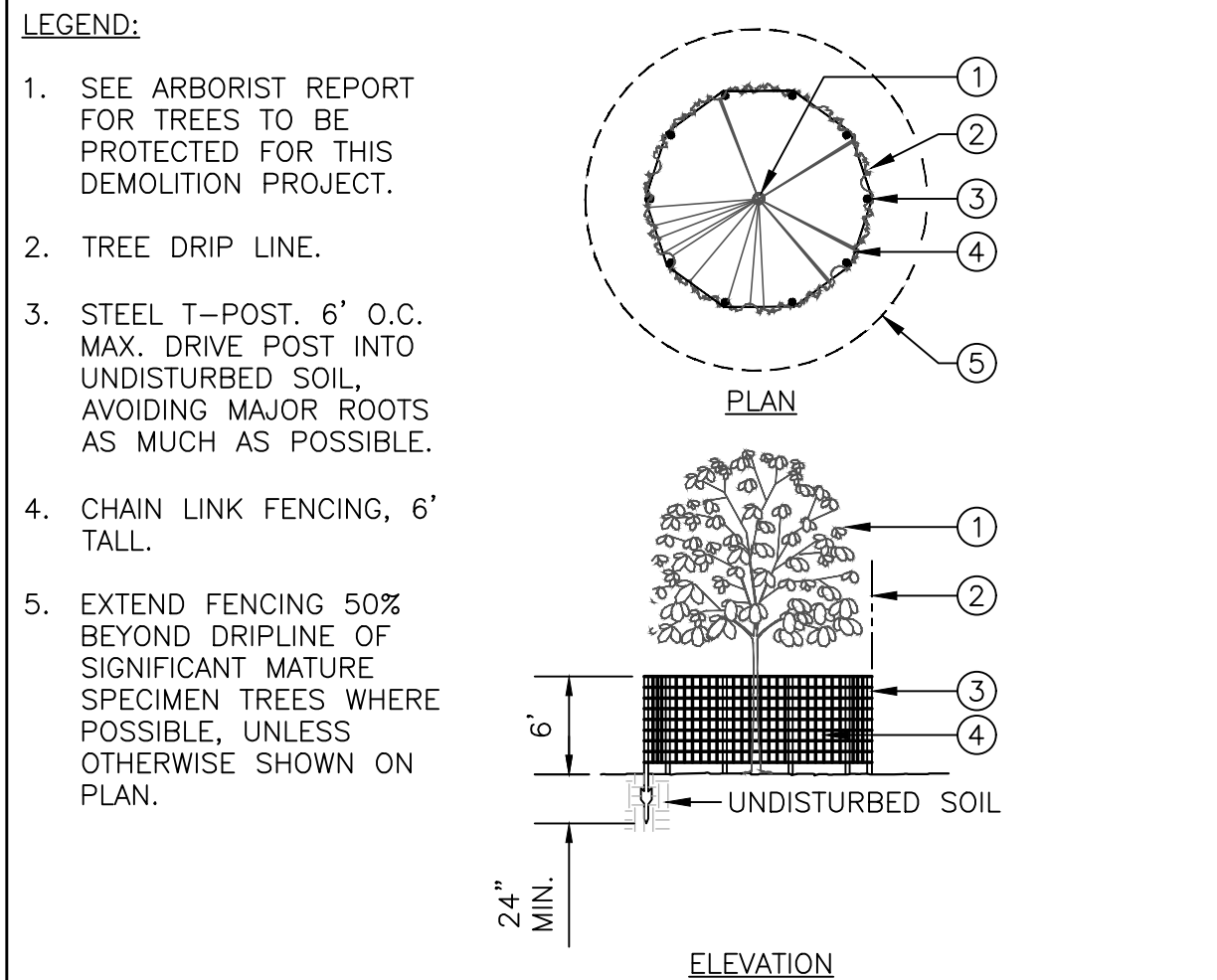


2B SWALE @ UNPAVED AREA N.T.S.



NOTE: BEDDING & STRUCTURAL MATERIALS PER GEOTECH RECOMMENDATIONS

11 TRENCH DETAIL N.T.S.

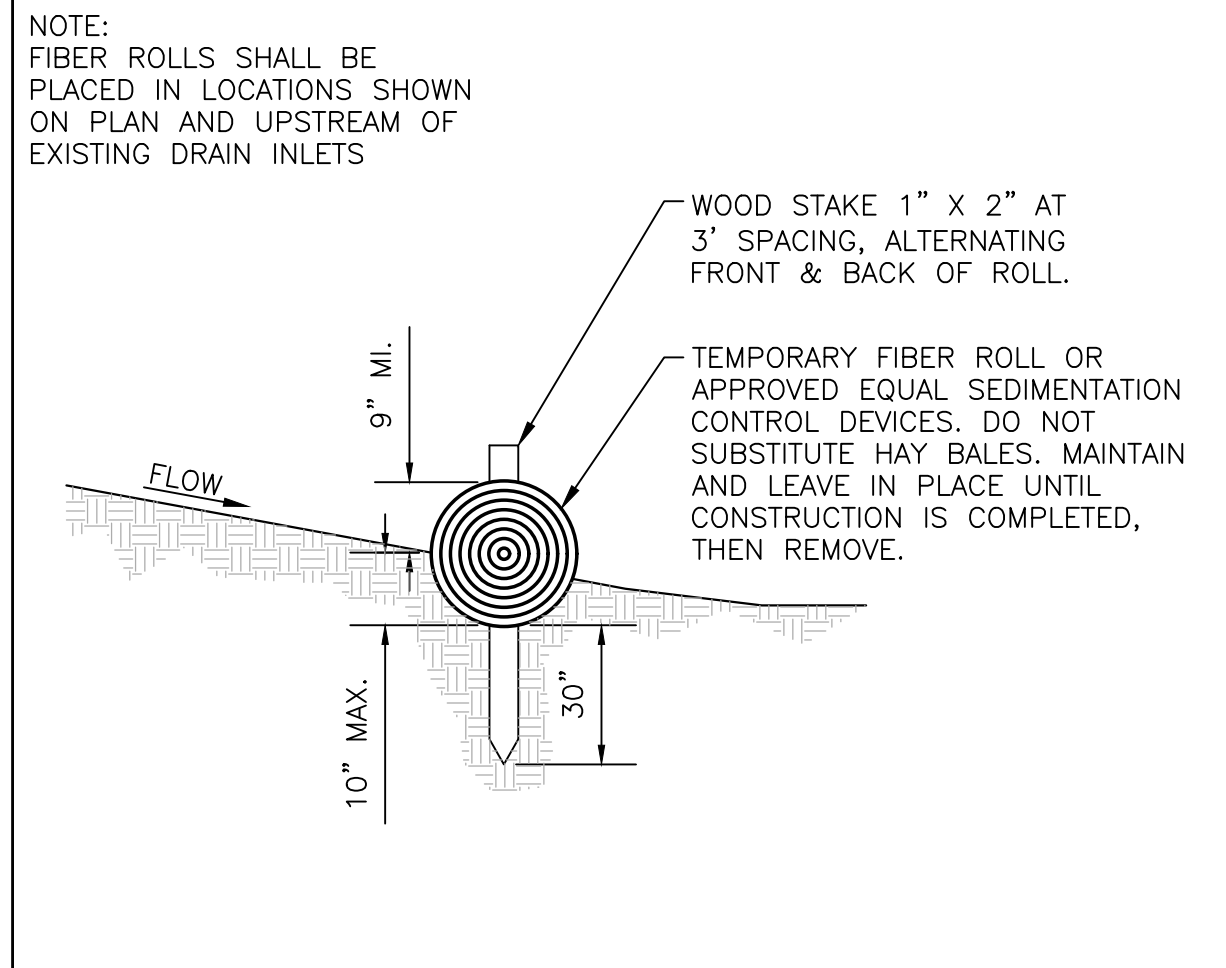


53 TREE PROTECTION FENCING N.T.S.

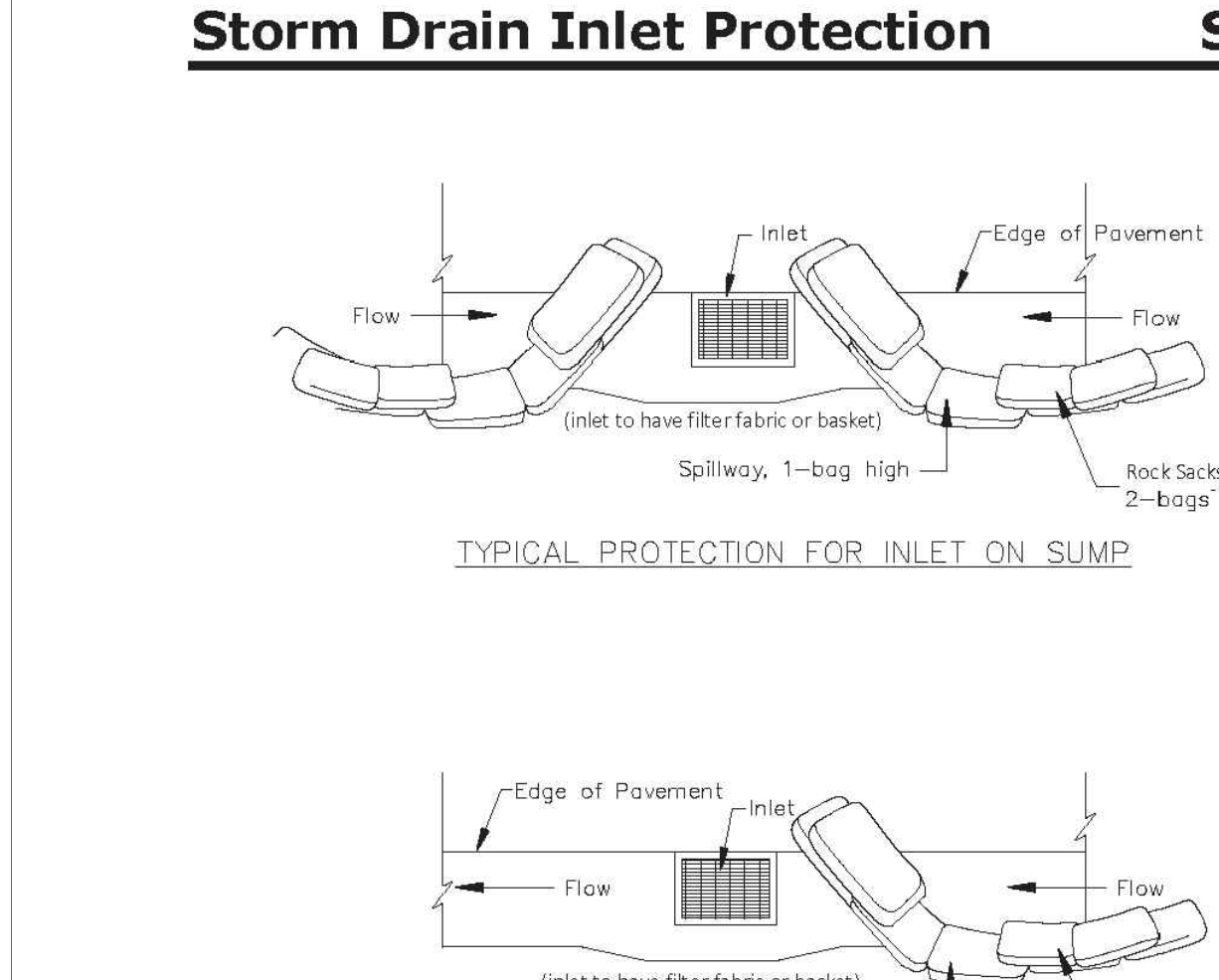


50 Storm Drain Inlet Protection SE-10 N.T.S.

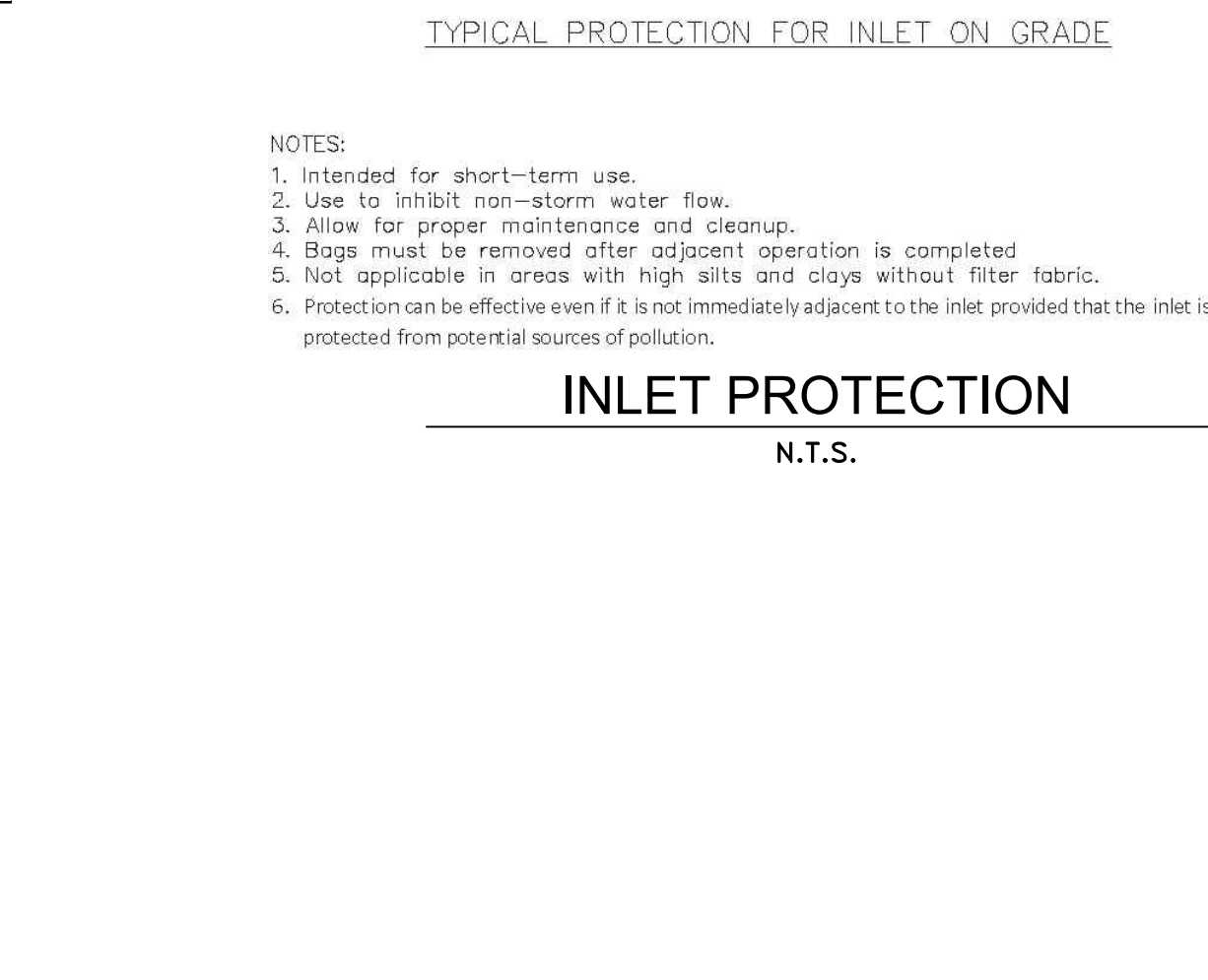
2F ASPHALT CONCRETE SWALE N.T.S.



50 STRAW ROLL N.T.S.

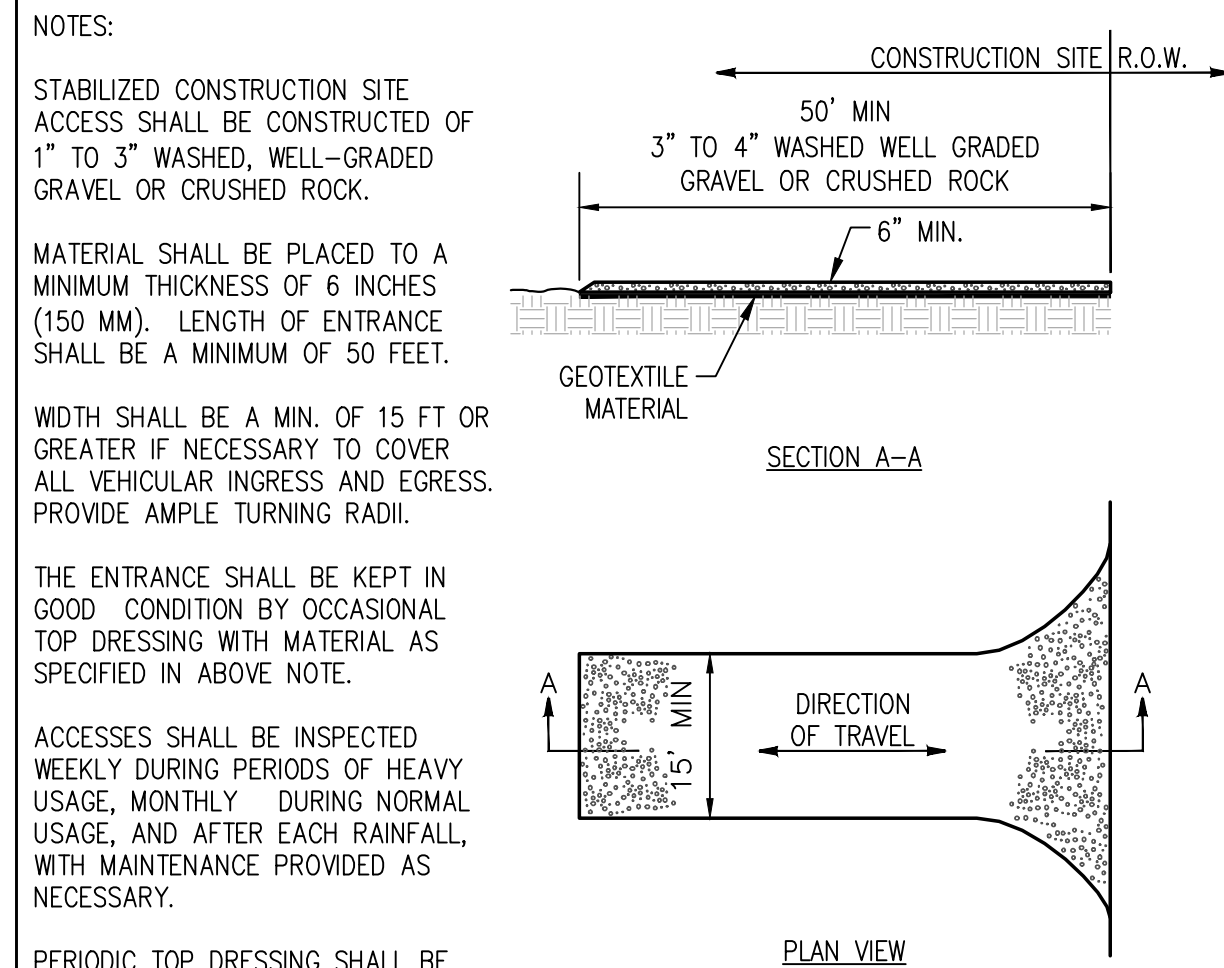


52A STABILIZED CONSTRUCTION ENTRANCE N.T.S.

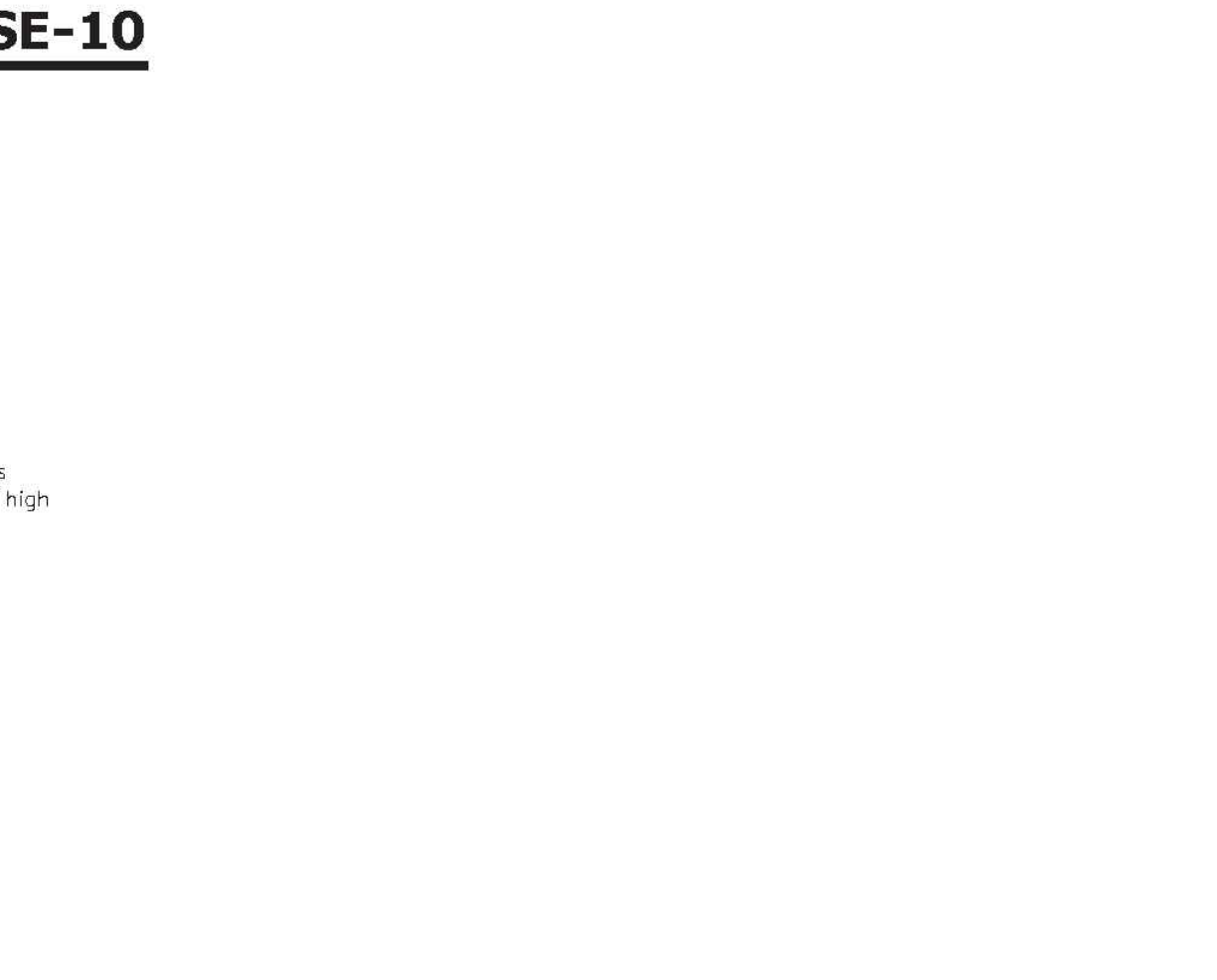


3A 12x12" LANDSCAPE AREA DRAIN N.T.S.

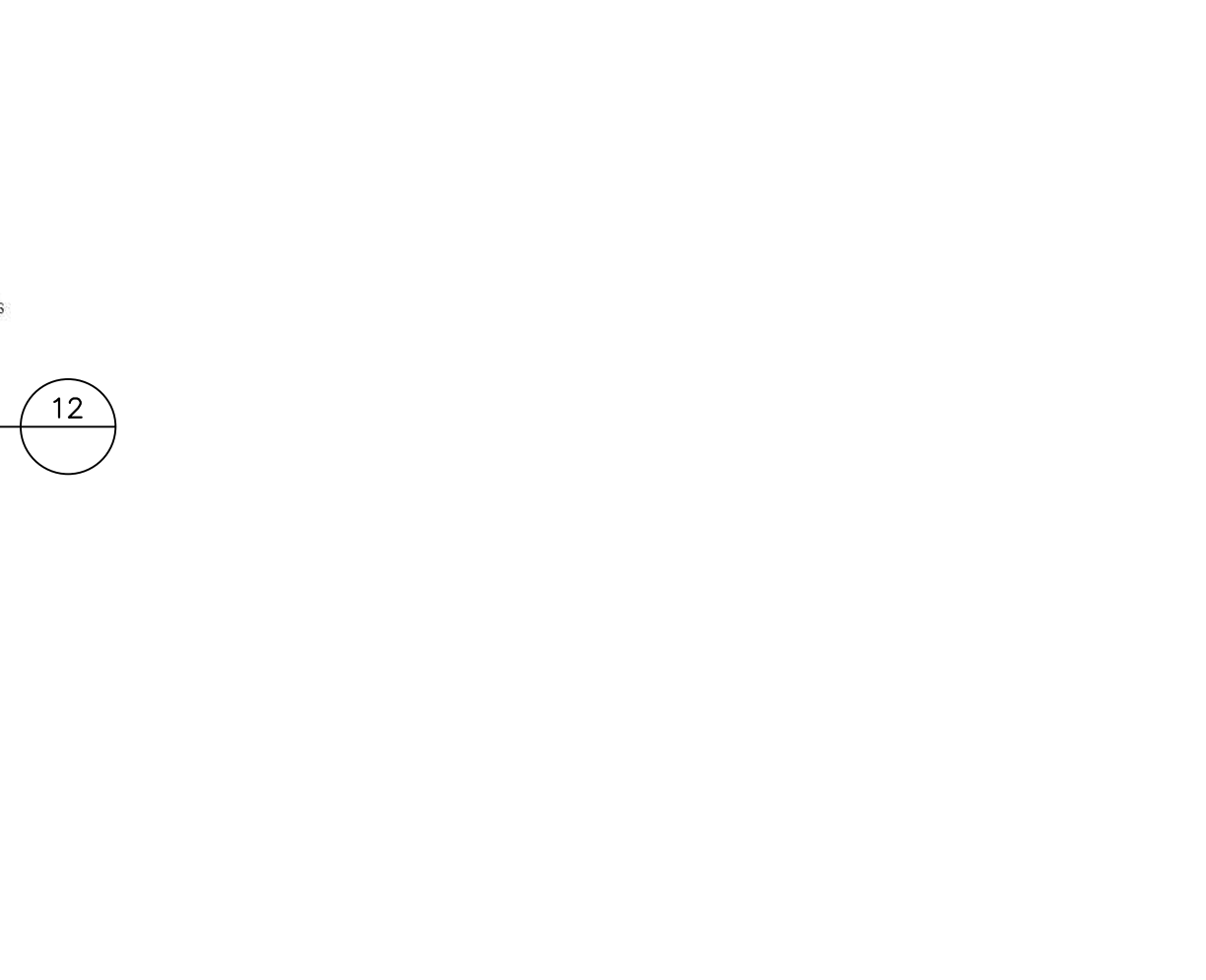
3A 12x12" LANDSCAPE AREA DRAIN N.T.S.



52A STABILIZED CONSTRUCTION ENTRANCE N.T.S.



52A STABILIZED CONSTRUCTION ENTRANCE N.T.S.



52A STABILIZED CONSTRUCTION ENTRANCE N.T.S.

REV.	DATE	DESCRIPTION
1	7/26/22	REVISION PER COMMENT
2	8/2/22	REVISION PER PUBLIC WORKS COMMENTS, 7/26/22

DETAIL SHEET  
NEW RESIDENCE  
5TH STREET  
MONTARA, CA 94037

SCALE

VERTICAL: 1"= AS SHOWN  
HORIZONTAL: 1"= AS SHOWN

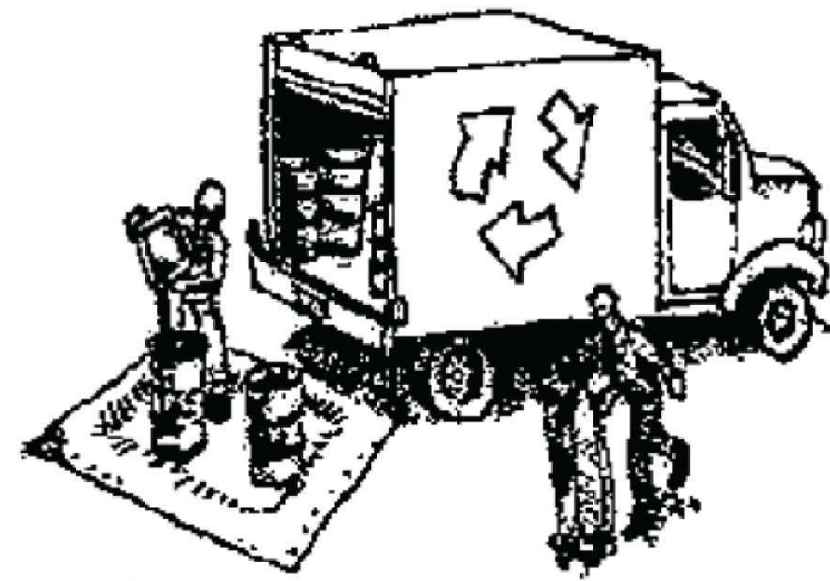
DATE: 08/19/2021  
DESIGNED: HCL  
DRAWN: BL  
REVIEWED: HCL  
JOB NO.: 20210029

SHEET  
**C4**  
4 OF 5 SHEET

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



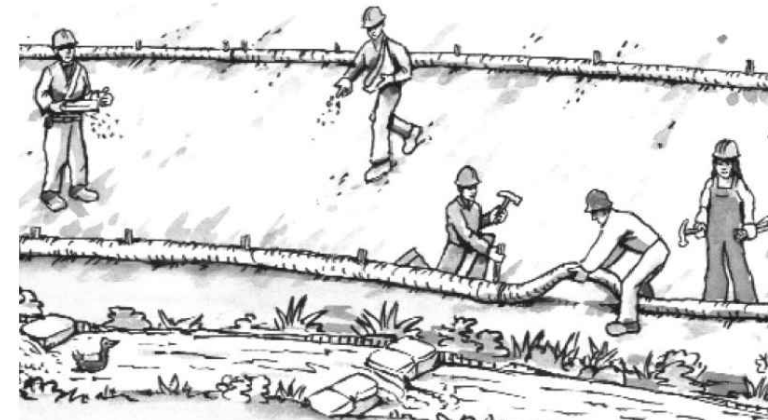
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

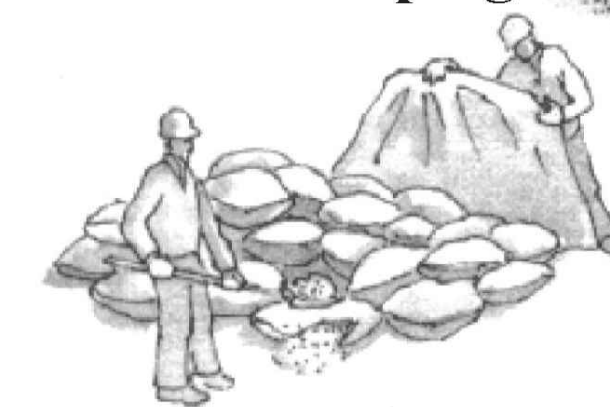
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



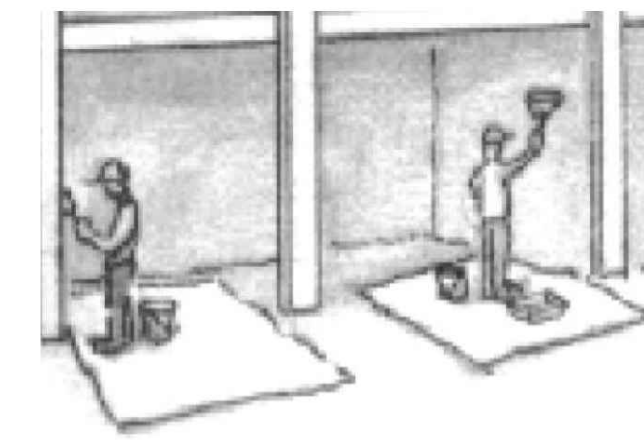
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

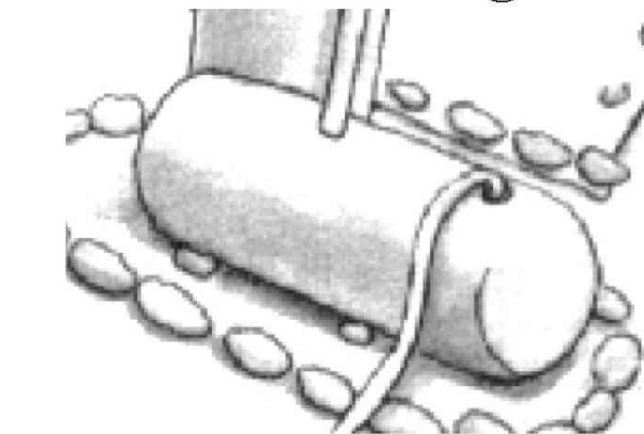
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



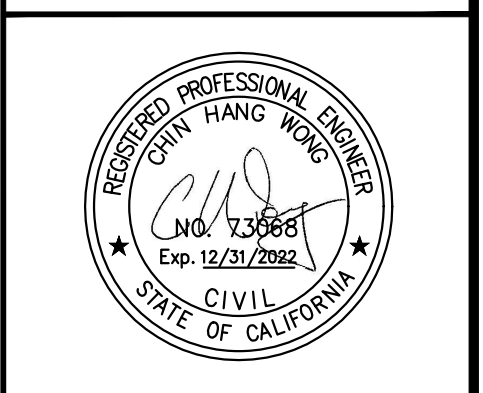
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

REV.	DATE	DESCRIPTION
1	7/26/22	REVISION PER COMMENT
2	8/2/22	REVISION PER PUBLIC WORKS COMMENTS, 7/26/22

**CONSTRUCTION BMPs**  
NEW RESIDENCE  
5TH STREET  
MONTARA, CA 94037

**GREEN**  
CIVIL ENGINEERING, INC.  
INFO@GREEN-CE.COM  
1900 S. NORFOLK ST. SUITE #350  
SAN MATEO, CA 94403



**SCALE**

VERTICAL: 1"= AS SHOWN  
HORIZONTAL: 1"= AS SHOWN

DATE: 08/19/2021

DESIGNED: HCL

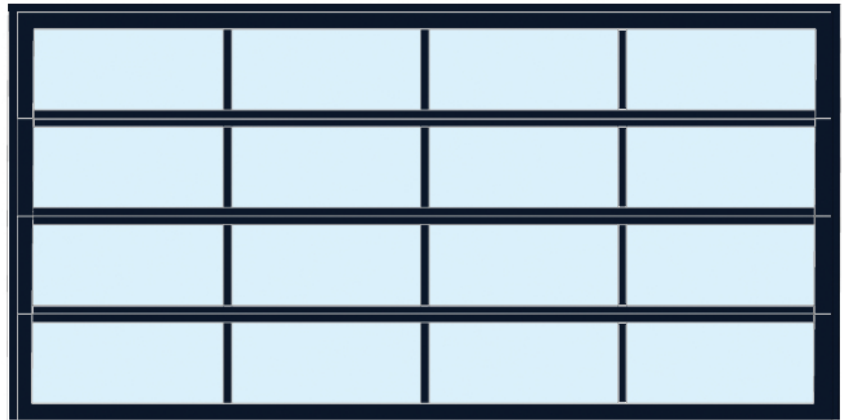
DRAWN: BL

REVIEWED: HCL

JOB NO.: 20210029



EXTERIOR COLOR:  
'BLACK'



**EXTERIOR DOORS & WINDOWS & TRIM**

ALUMINUM CLAD WINDOWS & DOORS BY ANDERSON WINDOWS & DOORS, OR EQUAL

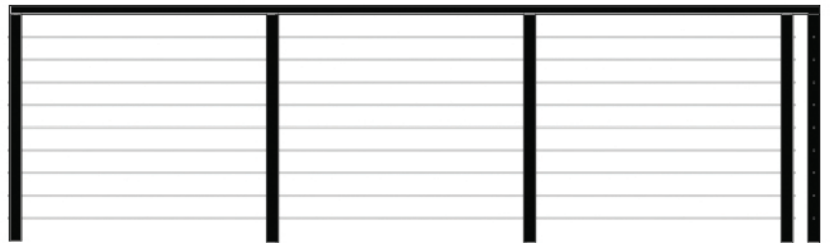
**OVERHEAD GARAGE DOOR**

ALUMINUM FRAME SECTIONAL GARAGE DOOR w/ TRANSLUCENT, TEMPERED GLASS INSERTS. ALUMINUM COLOR BLACK



**EXTERIOR LIGHTING**

WALL MOUNTED SCONCE DOWNLIGHT WITH BLACK FINISH BY 'ELEGANT LIGHTING' 8" TALL 'RAINE' SERIES



**EXTERIOR RAILING**

2 1/2" SQUARE ALUMINUM POSTS w/ 1"x2" TOP RAIL @ +42" ABOVE DECK w/ EQUALLY SPACED 1/4" THICK STAINLESS STEEL HORIZONTAL CABLE RAILS EQUALLY SPACED @ +/- 3 1/2" o.c. ALUMINUM FINISH BLACK



**EXTERIOR FINISHES**

HORIZONTAL WOOD SHIP-LAP SIDING CUMARU WOOD WITH NATURAL FINISH, OR EQUIVALENT



EXTERIOR CEMENT PLASTER FINISH: SMOOTH TROWELLED CEMENT GRAY FINISH [BENJAMIN MOORE 2112-60 CEMENT GRAY]

**MATERIAL & COLOR BOARD**

**MARK ENGLISH architects**

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San Francisco, California 94103  
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