

# FANG/JIANG ADDITION

180 LAKEVIEW WAY, REDWOOD CITY, CA 94062

PROJECT  
**FANG/JIANG ADDITION**  
 180 LAKEVIEW WAY  
 REDWOOD CITY, CA 94062

### PROJECT TEAM

**OWNERS**  
 ZHOU FANG & XINYI JIANG  
 180 LAKEVIEW WAY  
 REDWOOD CITY, CA 94602  
 (765) 237-2036  
 njiangdmd@gmail.com

**ARCHITECT**  
 PETER SUEN  
 FIFTH ARCH  
 1177 ALABAMA ST.  
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 (415) 513-6110

**STRUCTURAL ENGINEER**  
 GEOTRINITY CONSULTANTS, INC.  
 77701 PARDEE LANE, SUITE 101  
 OAKLAND, CA 94621  
 (510) 383-9950  
 info@geotrinity.com

**SURVEYOR**  
 LEA & BRAZE ENG., INC.  
 2495 INDUSTRIAL PKWY WEST  
 HAYWARD, CA 94545  
 (510) 887-4086

**ARBORIST**  
 KIELTY ARBORIST SERVICES LLC  
 P.O. BOX 6187  
 SAN MATEO, CA 94403  
 (650) 515-9783

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 GEOTECHNICAL REPORT  
 GEOTRINITY CONSULTANTS, INC.  
 12/17/2020

STORM WATER CALCULATIONS  
 GEOTRINITY CONSULTANTS, INC.  
 12/22/2020

ARBORIST REPORT  
 KIELTY ARBORIST SERVICES LLC  
 08/10/2020

**DEFERRED SUBMITTALS**  
 NONE

### PROJECT SCOPE

THE SCOPE OF WORK UNDER THIS PERMIT INCLUDES THE CONSTRUCTION OF A (N) HORIZONTAL ADDITION WITH A (N) PRIMARY BEDROOM, (2) NEW BATHROOMS AND A (N) 3-CAR GARAGE.

### PROJECT DATA

**LEGAL**  
 LOCATION: 180 LAKEVIEW WAY, REDWOOD CITY, CA 94062  
 APN: 057011330  
 ZONING: RH/DR

| BUILDING AREA     | EXISTING      | PROPOSED      |
|-------------------|---------------|---------------|
| LOT AREA:         | 21728 SQ. FT. | 21728 SQ. FT. |
| GROUND FLOOR:     | 1218 SQ. FT.  | 1685 SQ. FT.  |
| LOWER FLOOR:      | 1214 SQ. FT.  | 1957 SQ. FT.  |
| LOWER GARAGE:     | N/A           | 1046 SQ. FT.  |
| TOTAL FLOOR AREA: | 2432 SQ. FT.  | 4688 SQ. FT.  |

| BUILDING HEIGHT | EXISTING | PROPOSED |
|-----------------|----------|----------|
| EXISTING:       | 25'-0"   | 28'-0"   |
| PROPOSED:       | 28'-0"   | 28'-0"   |
| ALLOWED:        | 28'-0"   | 28'-0"   |

| BUILDING SETBACKS | REQ'D. | EXISTING | PROPOSED |
|-------------------|--------|----------|----------|
| FRONT:            | 20'-0" | 9'-1"    | 9'-1"    |
| SIDE(EAST):       | 7'-6"  | 16'-6"   | 16'-6"   |
| SIDE(WEST):       | 7'-6"  | 21'-1"   | 20'-7"   |
| REAR:             | 20'-0" | 85'-3"   | 85'-3"   |

**OCCUPANCY GROUP**  
 R-3

**CONSTRUCTION TYPE**  
 TYPE VB

### SITE LOCATION MAP



### APPLICABLE BUILDING CODES

ALL WORK NOTED SHALL BE IN FULL ACCORD & COMPLY WITH THE LATEST RULES, REGULATIONS, ORDINANCES, CODES & STANDARDS LISTED BELOW & ANY AND ALL LOCAL CODES AND ORDINANCES CURRENTLY IN EFFECT IN THE COUNTY OF SAN MATEO.

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA GREEN BUILDING CODE (CGBC)
- 2019 CALIFORNIA PLUMBING CODES (CPC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS
- 2019 CALIFORNIA FIRE CODE (CFC)

### ISSUES & REVISIONS

| NO. | DATE       | DESCRIPTION               |
|-----|------------|---------------------------|
| 1   | 01/15/2021 | PLANNING PERMIT SUBMITTAL |
| 2   | 05/10/2021 | 1st PLANNING COMMENTS     |

### TITLE SHEET

DATE: 5/11/2021  
 SCALE: AS NOTED  
 DRAWING BY: YZ  
 CHECKED BY: PS

# A0.1

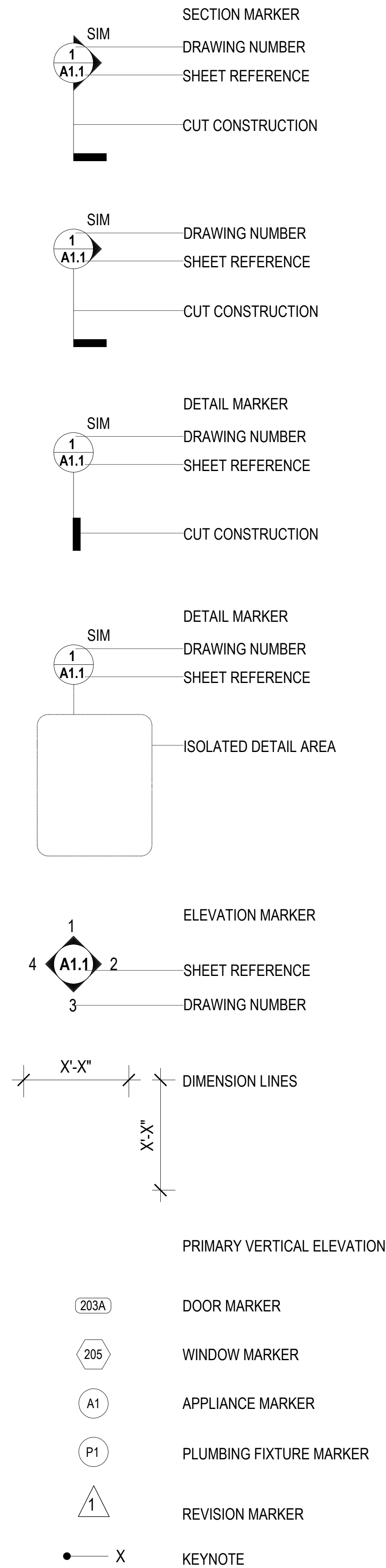
**GENERAL NOTES & CONDITIONS**

1. NOTIFY ARCHITECT PROMPTLY IF ANY CONDITIONS CONFLICT WITH CONSTRUCTION DOCUMENTS.
  2. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO FABRICATION/ CONSTRUCTION.
  3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DOCUMENTS, INCLUDING DISCREPANCIES BETWEEN ENGINEERING DOCUMENTS AND CONSTRUCTION DOCUMENTS.
  4. PROVISIONS SHALL BE MADE FOR THE UNDERGROUNDING OF ALL UTILITIES SERVING THE PROPERTY, INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, AND CABLE TELEVISION, BY THE INSTALLATION OF APPROPRIATELY SIZED UNDERGROUND CONDUITS EXTENDING FROM THE STREET PROPERTY, AS PER BBC 705A.1.
  5. ALL PERSONS WORKING AT THIS SITE MUST IMPLEMENT APPLICABLE PORTIONS OF THE STATE STORM WATER BEST MANAGEMENT PRACTICES MANUAL FOR CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE TO PREVENT EROSION AND SEDIMENT FROM ENTERING INTO THE STORM DRAIN SYSTEM. FAILURE TO UTILIZE ADEQUATE CONTROLS IS A VIOLATION OF BMC 17.20. A COPY OF THE MANUAL IS AVAILABLE UPON REQUEST AT THE PERMIT SERVICE CENTER AND AVAILABLE ONLINE AT WWW.CABMPHANDBOOKS.COM.
  6. APPROVAL OF THIS PERMIT FOR WORK IN THE PUBLIC RIGHT-OF-WAY OR EASEMENT DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF OBTAINING PERMISSION TO ENTER NEIGHBORING PROPERTY OR PROPERTIES IN THE COURSE OF THIS WORK IF NECESSARY. IT SHALL NOT BE CONSTRUED AS A LICENSE TO ALTER OR ADVERSELY IMPACT ANY FACILITIES LOCATED IN THESE EASEMENTS WHICH ARE PRIVATELY OWNED. FULL RESTITUTION AND RESTORATION SHALL BE THE RESPONSIBILITY OF THE PERMITTEE. PERMITTEE SHALL NOTIFY PROPERTY OWNER OF INTENTIONS 72 HRS PRIOR TO ENTERING THE PROPERTY.
- DIMENSIONING CONVENTIONS**
1. DIMENSIONS AS NOTED IN THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
  2. DIMENSIONS ARE FROM GRID LINE TO FACE OF CONCRETE OR STUD ON PLANS AND FACE OF FINISH ON ALL OTHER DRAWINGS, UNLESS OTHERWISE NOTED. ANY ERRORS, OMISSIONS, OR AMBIGUITIES IN THE PLANS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. SEE ENLARGED PLANS, FOR ADDITIONAL DIMENSIONS & INFORMATION.
  3. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE PLANS GOVERN OVER SMALL SCALE PLANS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. IF UNABLE TO LOCATE THE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT PRIOR TO CONSTRUCTION.
  4. ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO FIXTURE AND/OR FINISH WALL UNLESS OTHERWISE NOTED.
  5. ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF PLYWOOD OR SLAB, UNLESS NOTED "A.F.F."
  6. DIMENSIONS ARE NOT ADJUSTABLE , UNLESS NOTED (+/-), WITHOUT ARCHITECT'S WRITTEN APPROVAL.
  7. EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS:
    - STRUCTURAL OR DIMENSIONAL GRID LINES
    - CENTERLINE OF STEEL
    - CENTERLINE OF DOOR, WINDOW, OR CASED OPENING
  8. WHERE WALLS AND / OR PARTITIONS OF UNEQUAL THICKNESS ABUT, ALIGN EXPOSED FACES, UNLESS OTHERWISE NOTED.

**ABBREVIATIONS**

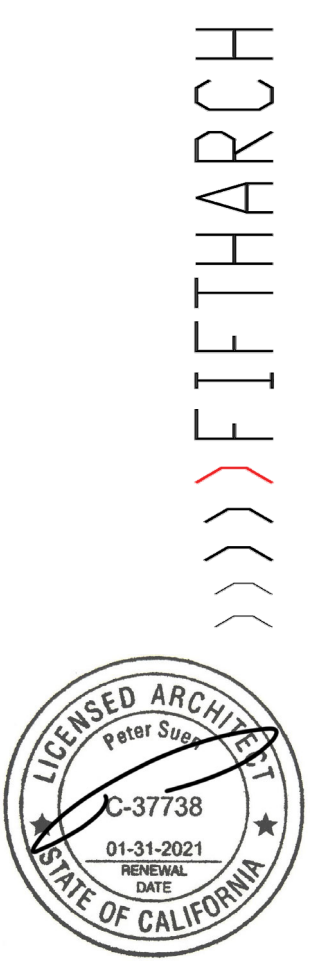
|        |                                     |         |                                       |         |                             |
|--------|-------------------------------------|---------|---------------------------------------|---------|-----------------------------|
| ACT    | Acoustical Ceiling Tile             | ID      | Inside Diameter                       | SC      | South                       |
| BLDG   | Building                            | INCL    | Include(ed), (ing)                    | SCH     | Solid Core, Sealed Concrete |
| BLKG   | Blocking                            | INSUL   | Insulation                            | SE      | Schedule                    |
| BOS    | Bottom of Steel                     | INT     | Interior                              | SECT    | Southeast                   |
| BOT    | Bottom                              | INV     | Invert                                | SHT     | Section                     |
| BRG    | Bearing                             | JAN     | Janitor                               | SHTG    | Sheet                       |
| CAB    | Cabinet                             | JT      | Joint                                 | SHTM    | Sheathing                   |
| CG     | Corner Guard                        | KIT     | Kitchen/Kitchenette                   | SIM     | Similar                     |
| CJ     | Control/Construction Joint          | KO      | Knockout                              | SPEC(S) | Specification(s)            |
| CL     | Centerline                          | LAV     | Lavatory                              | SQ      | Sprinkler                   |
| CEIL   | Ceiling                             | LH      | Left Hand                             | SS      | Square                      |
| CLR    | Clear/Clearance                     | MANF    | Manufacture(r)                        | STD     | Stainless Steel             |
| CMU    | Concrete Masonry Unit               | MATL    | Material(s)                           | STL     | Standard                    |
| COL    | Column                              | MAX     | Maximum                               | STOR    | Steel                       |
| CONC   | Concrete                            | MECH    | Mechanical                            | STRUCT  | Storage                     |
| CONST  | Construction                        | MED     | Medium                                | SURF    | Structural                  |
| CONT   | Continuous                          | MEMBR   | Membrane                              | SUSP    | Surface                     |
| COORD  | Coordinate/Coordination             | MEZZ    | Mezzanine                             | SW      | Suspend(ed)                 |
| CPT    | Carpet                              | MTL     | Metal                                 | SYS     | Southwest                   |
| CSWK   | Casework                            | MIN     | Minimum                               | T&GT    | System(s)                   |
| CP     | Centerpoint                         | MIR     | Mirror(ed)                            | TI      | Tongue and Groove           |
| CT     | Ceramic Tile                        | MISC    | Miscellaneous                         | TAN     | Tread, Thermostat           |
| DEMO   | Demolition                          | MO      | Masonry Opening                       | TBD     | Tenant Improvement(s)       |
| DF     | Drinking Fountain                   | MTD     | Mounted                               | TEL     | Tangent                     |
| DIA    | Diameter                            | MULL    | Mullion                               | TEMP    | To Be Determined            |
| DIAG   | Diagonal                            | N       | North                                 | THRU    | Telephone                   |
| DIM    | Dimension                           | NE      | Northeast                             | TOB     | Temperature/Temporary       |
| DISP   | Dispenser                           | NIC     | Not in Contract                       | TOC     | Through                     |
| DN     | Down                                | NO.#    | Number                                | TOF     | Top of Beam                 |
| DR     | Door                                | NOM     | Nominal                               | TOFW    | Top of Curb/Coping/Concrete |
| DTL    | Detail                              | NTS     | Not to Scale                          | TOP     | Top of Floor                |
| DWG(S) | Drawing/Drawings                    | NW      | Northwest                             | TOS     | Top of Foundation Wall      |
| E      | East                                | OC      | On Center(s)                          | TOW     | Top of Parapet              |
| EXIST  | Existing                            | OD      | Outside Diameter                      | TP      | Top of Steel                |
| EIFS   | Exterior Insulation & Finish System | OF/CI   | Owner Furnished/ Contractor Installed | TYP     | Top of Wall                 |
| EL     | Elevation                           | OF/OI   | Owner Furnished/ Owner Installed      | UNFIN   | Toilet Partition            |
| ELEC   | Electric/Electrical                 | OFRD    | Overflow Roof Drain                   | UNO     | Typical                     |
| ELEV   | Elevator                            | OFS     | Overflow Scupper                      | V       | Unfinished                  |
| EPDM   | Elastomeric Membrane                | OH      | Overhead                              | VB      | Unless Noted Otherwise      |
| EQ     | Equal                               | OPNG    | Opening                               | VCT     | Vinyl                       |
| EQUIP  | Equipment                           | OPP     | Opposite                              | VERT    | Vinyl Base                  |
| EXP    | Exposed/Expansion                   | PERM    | Permanent                             | VEST    | Vinyl Composition Tile      |
| EJ     | Expansion Joint                     | PERP    | Perpendicular                         | VIF     | Vertical                    |
| EXT    | Exterior                            | PL      | Plate                                 | VNR     | Vestibule                   |
| FAST   | Fasten/Fastener                     | PLYWD   | Plywood                               | VT      | Verify in Field             |
| FD     | Floor Drain                         | PNL     | Panel                                 | VVC     | Veneer                      |
| FE     | Fire Extinguisher                   | PR      | Pair                                  | W/      | Vinyl Tile                  |
| FEC    | Fire Extinguisher Cabinet           | PREFAB  | Prefabricate(d)                       | W/O     | Vinyl Wall Covering         |
| FF     | Finish Floor                        | PREFIN  | Prefinish(ed)                         | W       | With                        |
| FIN    | Finish                              | PRKG    | Parking                               | WC      | Without                     |
| FIXT   | Fixture                             | PROP    | Property                              | WD      | West                        |
| FL/FLR | Floor                               | PT      | Paint(ed)                             | WDW     | Water Closet                |
| FOS    | Face of Stud                        | QT      | Quarry Tile                           | WH      | Wood                        |
| FR     | Frame(s), (ing)                     | QTY     | Quantity                              | WHF     | Window                      |
| FRP    | Fiber Reinforced Polyester          | R       | Riser                                 | WLD     | Welded Wire Fabric          |
| FTG    | Footing                             | RAD/(R) | Radius(ed)                            |         |                             |
| FUR    | Furr(ed), (ing)                     | RB      | Rubber                                |         |                             |
| GA     | Guage                               | RCP     | Reflected Ceiling Plan                |         |                             |
| GALV   | Galvanized                          | RD      | Roof Drain                            |         |                             |
| GBB    | Gypsum Backing Board                | REC     | Recessed                              |         |                             |
| GC     | General Contractor                  | RECPT   | Receptical                            |         |                             |
| GEN    | General                             | REF     | Reference/Refrigerator                |         |                             |
| GFRC   | Glass Fiber Reinforced Concrete     | REINF   | Reinforce(d), (ing)                   |         |                             |
| GL     | Glass/Glazing                       | REQD    | Required                              |         |                             |
| GWB    | Gypsum Wallboard                    | REV     | Reverse                               |         |                             |
| GYP    | Gypsum                              | RH      | Right Hand                            |         |                             |
| HB     | Hose Bibb                           | RM      | Room                                  |         |                             |
| HC     | Hollow Core, Hose Cabinet           | RO      | Rough Opening                         |         |                             |
| HM     | Hollow Metal                        | RT      | Resilient Tile                        |         |                             |
| HOR    | Horizontal                          | RVS     | Roof Vent                             |         |                             |
| HT     | Height                              |         |                                       |         |                             |
| HTG    | Heating                             |         |                                       |         |                             |
| HVAC   | Heating/Ventilation/AC              |         |                                       |         |                             |
| HDW    | Hardwood                            |         |                                       |         |                             |

**PROJECT SYMBOLS**



**PROJECT NOTES & CONDITIONS**

- SB 407**  
NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES PER SB 407.
- CONSTRUCTION HOURS**  
WEEKDAYS: 7:00AM - 7:00PM  
SATURDAYS: 9:00AM - 6:00PM  
SUNDAYS AND HOLIDAYS: 10:00AM - 6:00PM
- CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00PM.

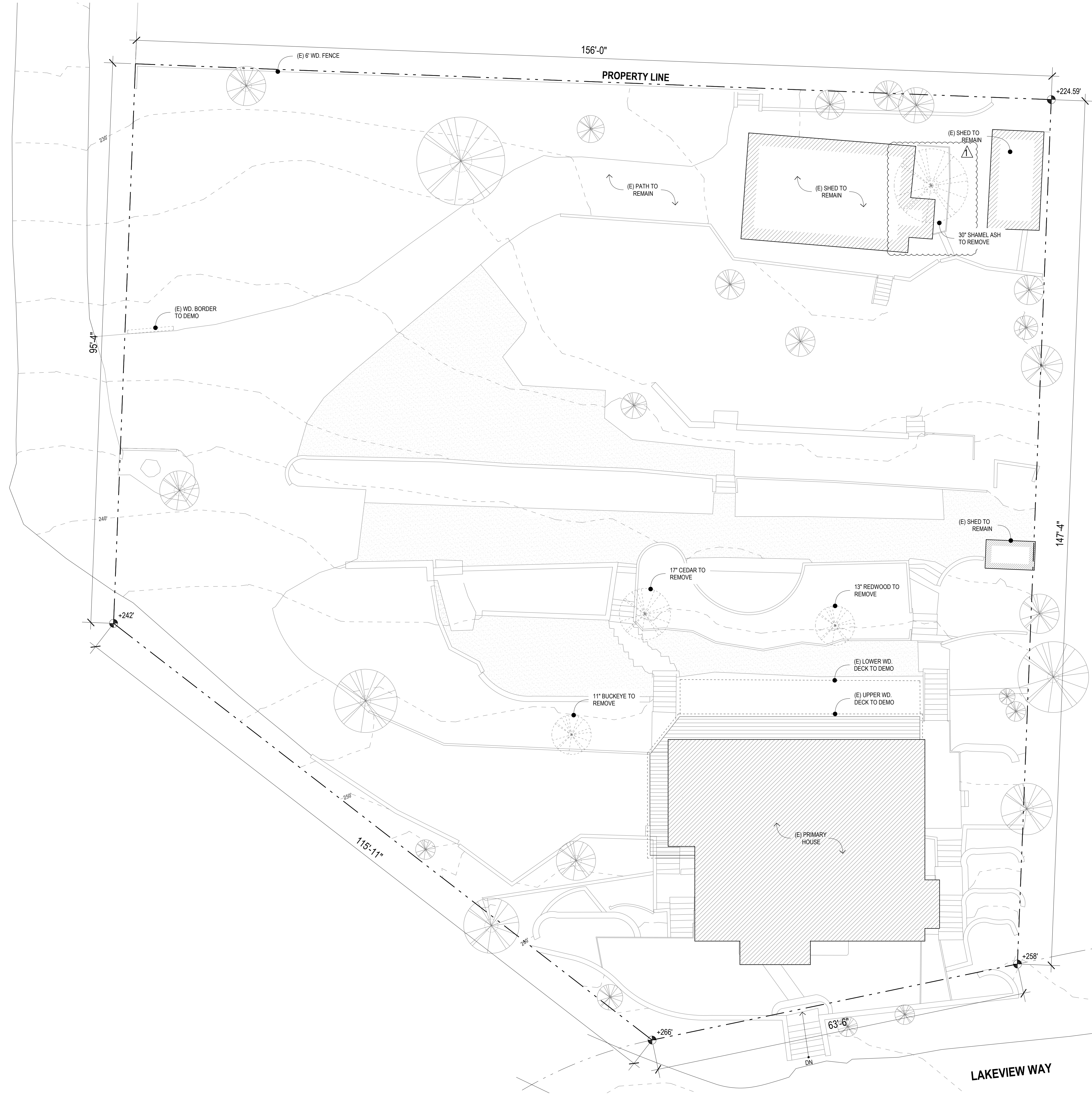


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| NO. | DATE       | DESCRIPTION               |
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|     | 05/10/2021 | 1st PLANNING COMMENTS     |

| NOTES & LEGEND  |                |
|-----------------|----------------|
| DATE: 5/11/2021 | DRAWING BY: PS |
| SCALE: AS NOTED | CHECKED BY: PS |

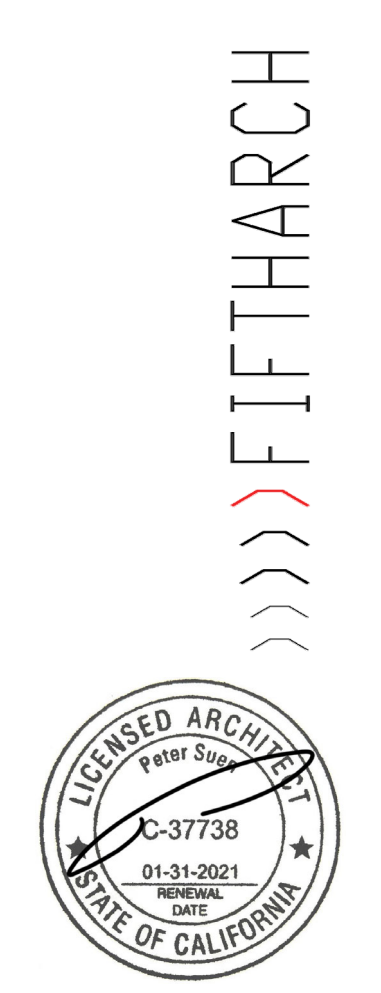
**A0.2**



**LINE TYPES:**  
 ——— EXISTING WALL / ELEMENT TO REMAIN  
 - - - - - EXISTING WALL / ELEMENT TO REMOVE

**TREE PROTECTION NOTES:  
 (PER ARBORIST REPORT)**

1. TREE PROTECTION PLAN: TREE PROTECTION FENCING TREE PROTECTION ZONES SHOULD BE ESTABLISHED & MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FT TALL METAL CHAIN LINK TYPE FENCING SUPPORTED BY METAL POLES POUNDED INTO THE GROUND. THE SUPPORT POLES SHOULD BE SPACED NO MORE THAN 10 FT APART ON CENTER. THE LOCATION FOR THE PROTECTION FENCING SHOULD BE AS CLOSE TO THE DRIPLINE AS POSSIBLE STILL ALLOWING ROOM FOR CONSTRUCTION TO SAFELY CONTINUE. SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT". NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES. AREAS OUTSIDE THE FENCING BUT STILL BENEATH THE DRIPLINE OF PROTECTED TREES, WHERE FOOT TRAFFIC IS EXPECTED TO BE HEAVY, SHOULD BE MULCHED WITH 4 TO 6 INCHES OF CHIPPER CHIPS.
2. TRENCHING AND EXCAVATION: TRENCHING FOR IRRIGATION, ELECTRICAL, DRAINAGE OR ANY OTHER REASON SHOULD BE HAND DUG WHEN BENEATH THE DRIPLINES OF PROTECTED TREES. HAND DIGGING AND CAREFULLY LAYING PIPES BELOW OR BESIDE PROTECTED ROOTS WILL DRAMATICALLY REDUCE ROOT LOSS OF DESIRED TREES THUS REDUCING TRAUMA TO THE ENTIRE TREE. TRENCHES SHOULD BE BACKFILLED AS SOON AS POSSIBLE WITH NATIVE MATERIAL AND COMPACTED TO NEAR ITS ORIGINAL LEVEL. TRENCHES THAT MUST BE LEFT EXPOSED FOR A PERIOD OF TIME SHOULD ALSO BE COVERED WITH LAYERS OF BURLAP OR STRAW WATTLE AND KEPT MOIST. PLYWOOD OVER THE TOP OF THE TRENCH WILL ALSO HELP PROTECT EXPOSED ROOTS BELOW.
3. IRRIGATION: NORMAL IRRIGATION SHOULD BE MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. THE IMPORTED TREES ON THIS SITE WILL REQUIRE IRRIGATION DURING THE WARM SEASON MONTHS. SOME IRRIGATION MAY BE REQUIRED DURING THE WINTER MONTHS DEPENDING ON THE SEASONAL RAINFALL. DURING THE SUMMER MONTHS THE TREES ON THIS SITE SHOULD RECEIVE HEAVY FLOOD TYPE IRRIGATION 2 TIMES A MONTH. DURING THE FALL AND WINTER 1 TIME A MONTH SHOULD SUFFICE. MULCHING THE ROOT ZONE OF PROTECTED TREES WILL HELP THE SOIL RETAIN MOISTURE, THUS REDUCING WATER.
4. CONSUMPTION: TREE TRIMMING ALL TREE TRIMMING SHOULD BE CARRIED OUT BY A LICENSED TREE CARE PROVIDER. THE WORK WILL BE INSPECTED AND OVERSEEN BY THE PROJECT ARBORIST. ALL TRIMMING WILL BE WITHIN ANSI STANDARDS AND BEST MANAGEMENT PRACTICES.



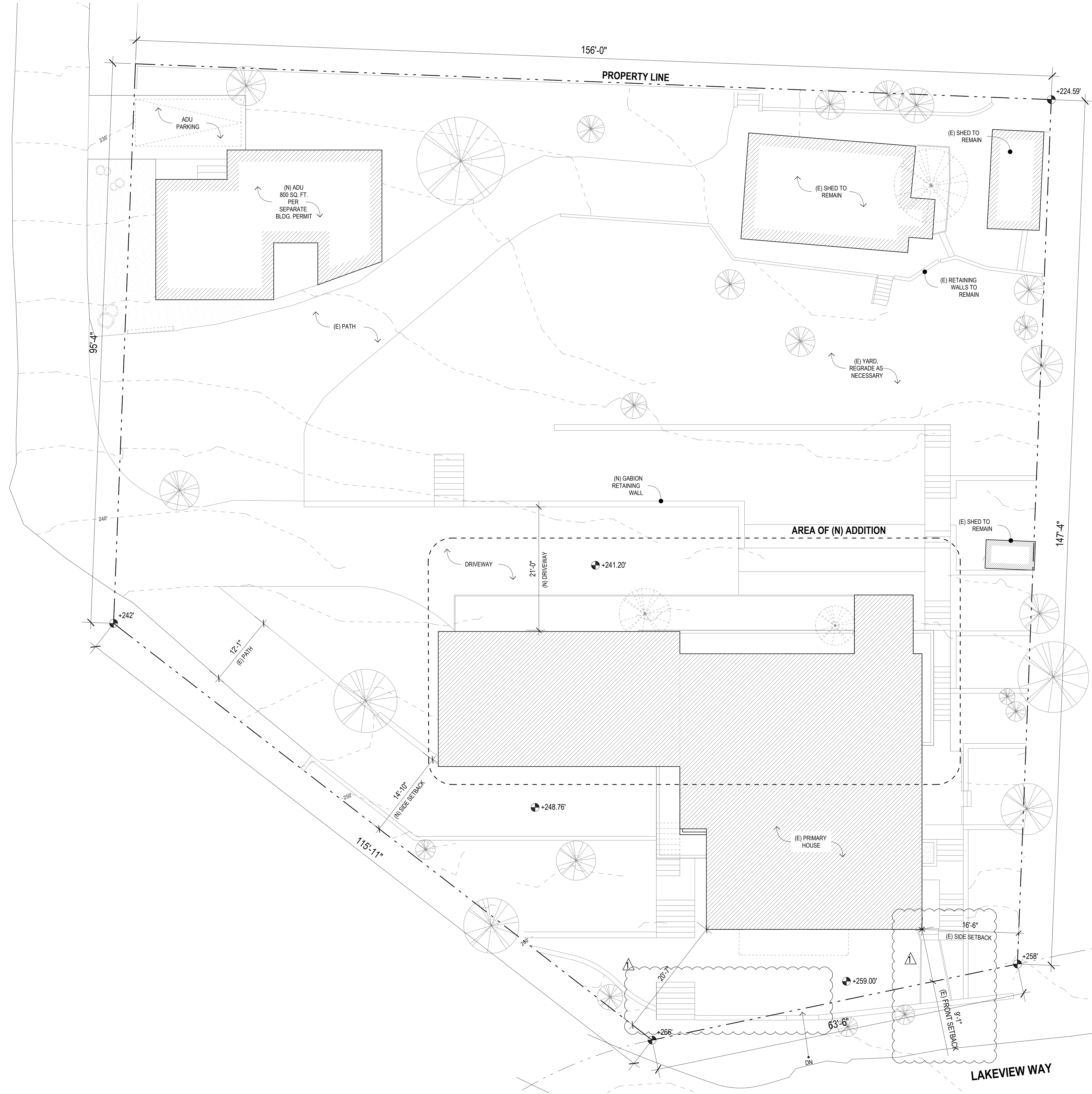
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**EXISTING SITE PLAN**  
 DATE: 5/11/2021  
 SCALE: 1/8" = 1'-0"  
 DRAWING BY: YZ  
 CHECKED BY: PS

**EXISTING SITE PLAN 1**  
 SCALE: 1/8" = 1'-0"

**A1.1**

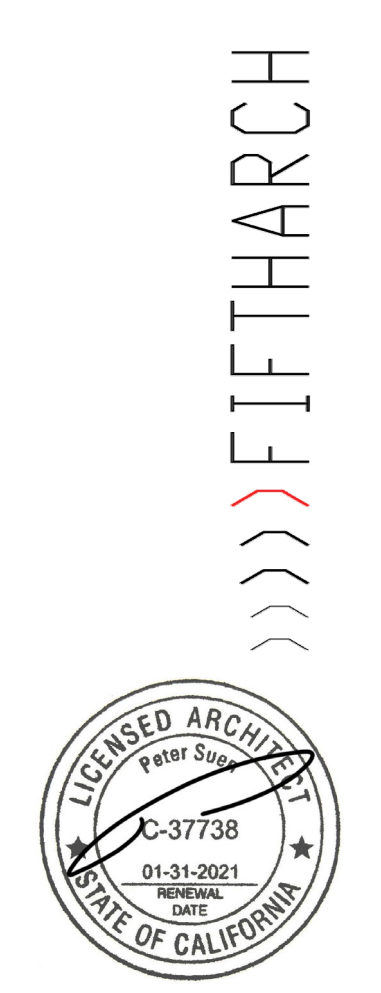


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 - - - - EXISTING WALL / ELEMENT TO REMOVE

**FLOOR AREA CALCULATIONS:**  
 LOT AREA: 21,728 SQ. FT.  
 MAX FAR: 21,728 \* 0.3 = 6,518 SQ. FT.  
 PROPOSED FAR: 4,583 SQ. FT. (<6,518 SQ. FT.)

**LOT COVERAGE CALCULATIONS:**  
 LOT AREA: 21,728 SQ. FT.  
 MAX COVERAGE: 21,728 \* 0.25 = 5,432 SQ. FT.  
 MAIN HOUSE: 2,254 SQ. FT.  
 GARAGE: 970 SQ. FT.  
 (E) 3 SHEDS: 734 SQ. FT.  
 (N) ADU: 800 SQ. FT.  
 TOTAL: 4,758 SQ. FT. (<5,432 SQ. FT.)

**PROPOSED SITE PLAN**  
 SCALE: 1/8" = 1'-0" **1**



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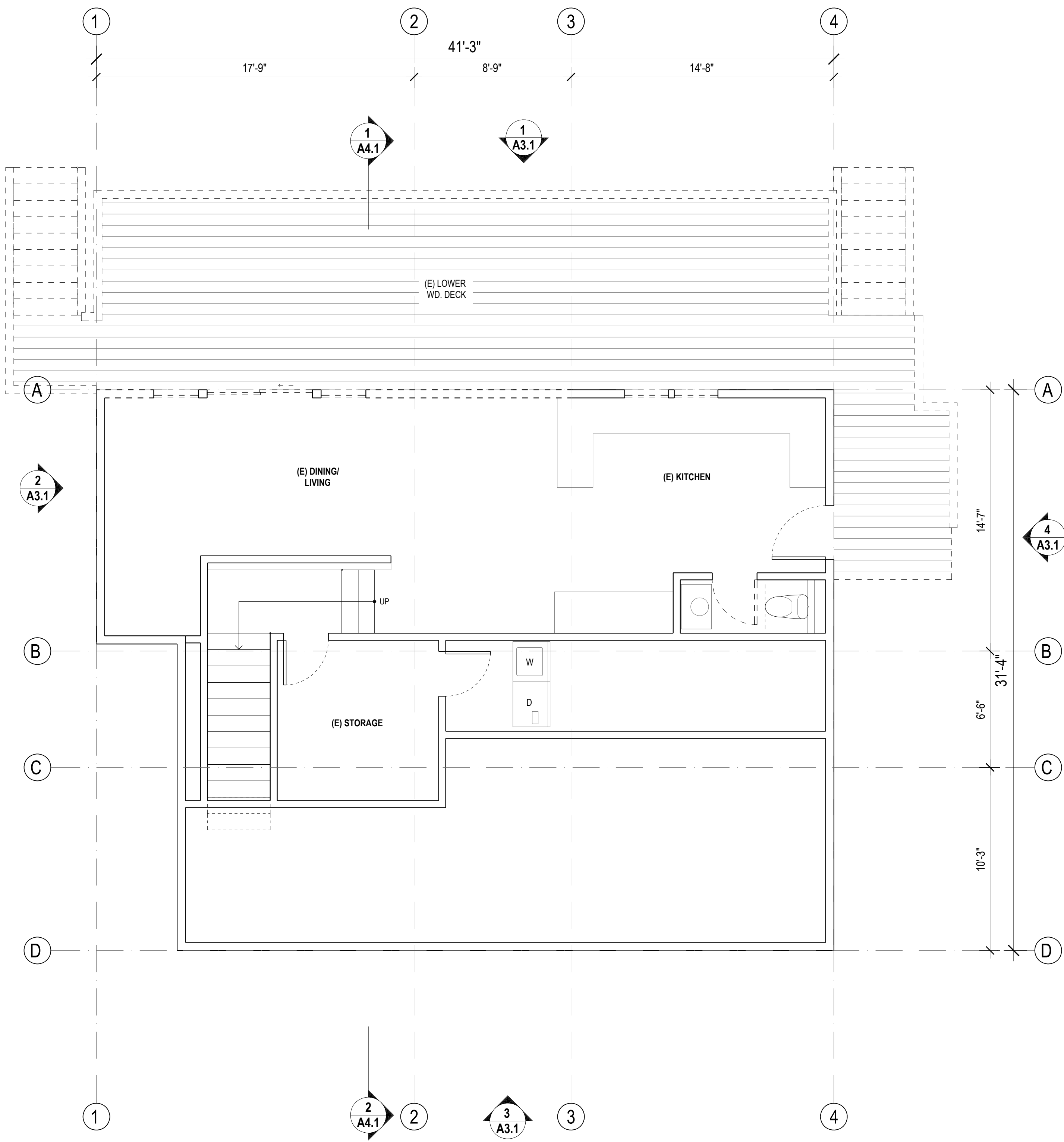
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**PROPOSED SITE PLAN**

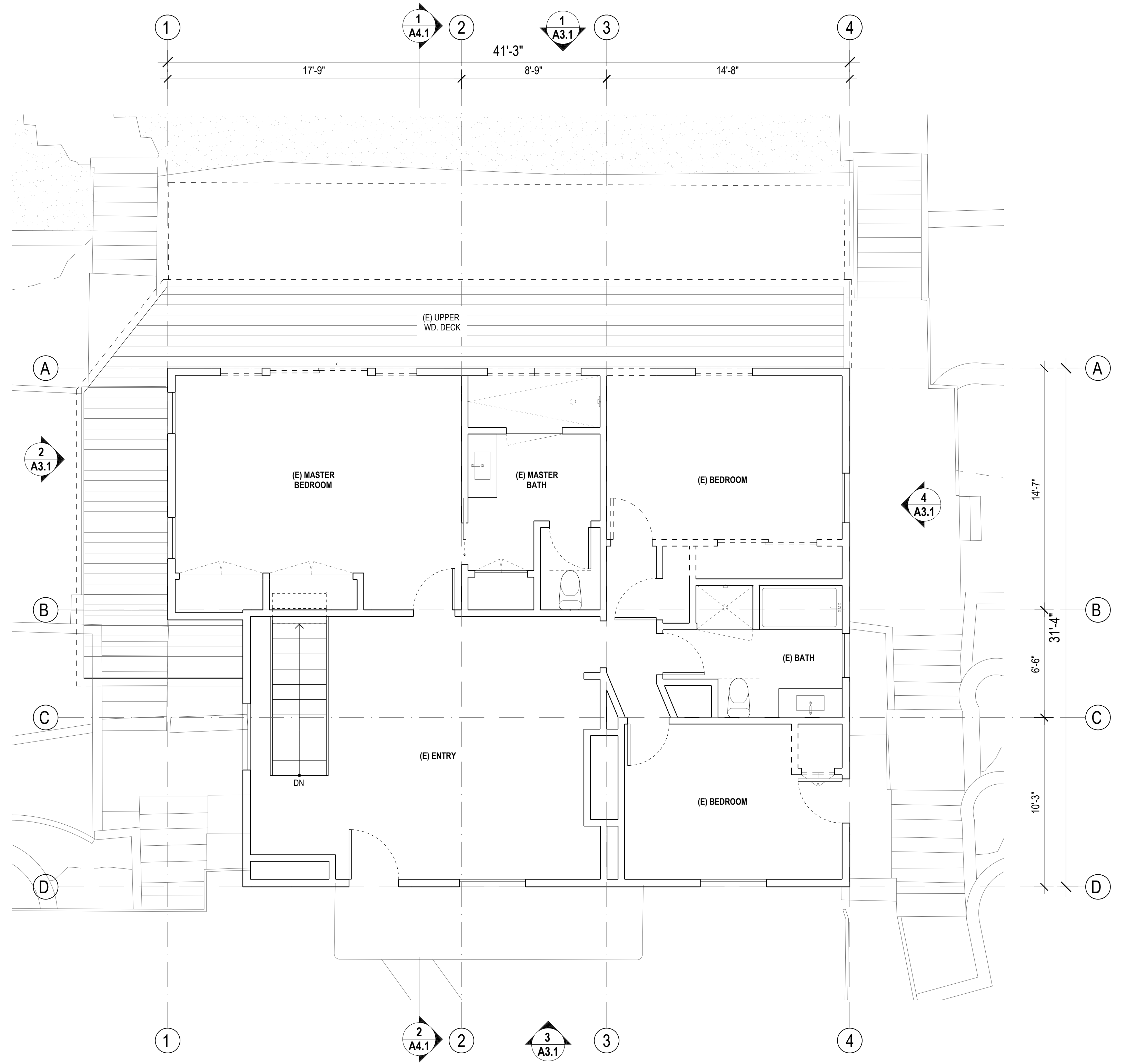
DATE: 5/28/2021  
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DRAWING BY: YZ  
 CHECKED BY: PS

**A1.2**



**EXISTING LOWER FLOOR PLAN** 2  
SCALE: 1/4" = 1'-0"



**EXISTING GROUND FLOOR PLAN** 1  
SCALE: 1/4" = 1'-0"

**LEGEND**

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE



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**ISSUES & REVISIONS**

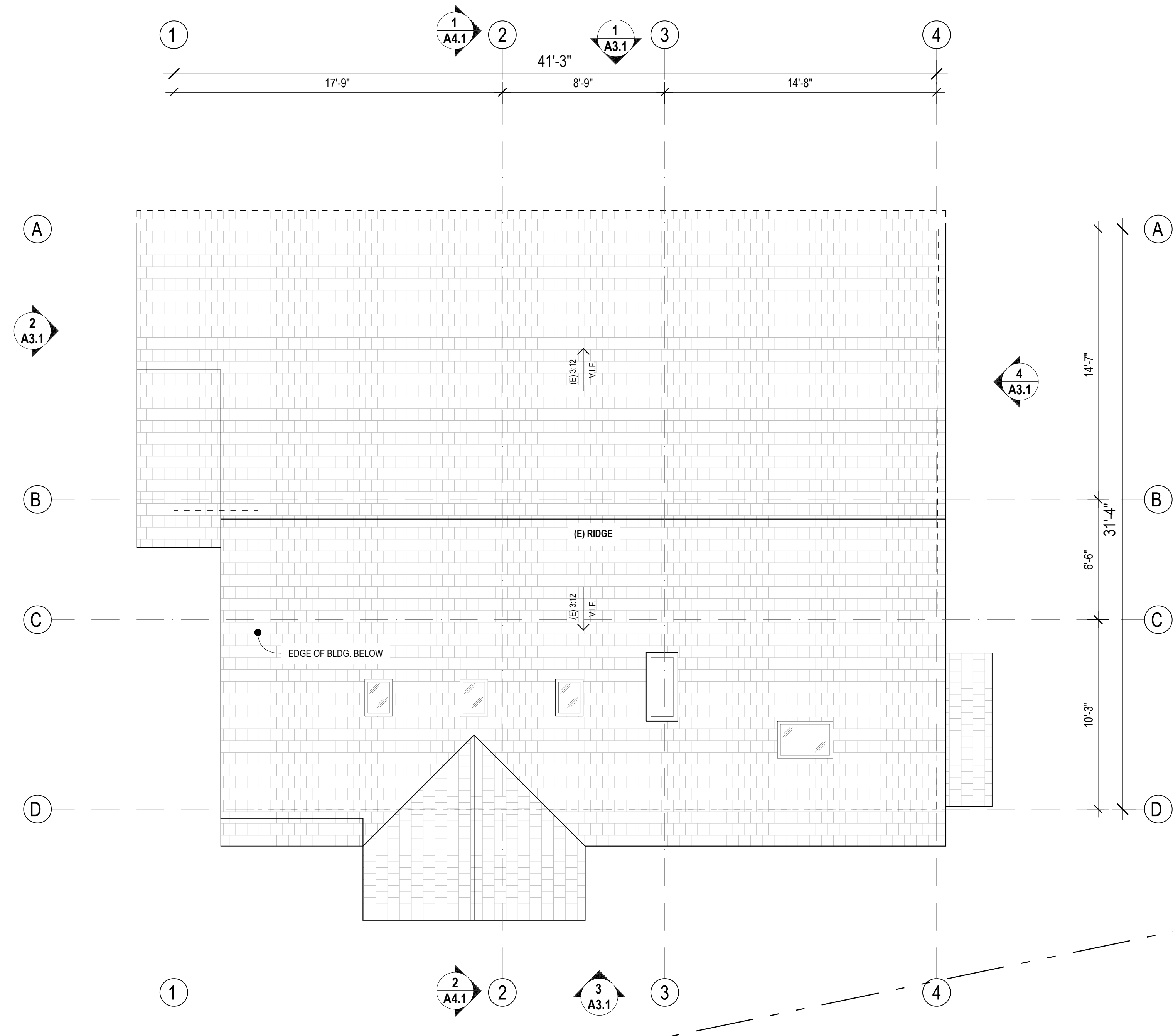
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**EXISTING FLOOR PLANS**

DATE: 5/11/2021  
SCALE: 1/4"=1'-0"  
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CHECKED BY: PS

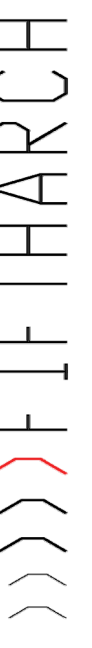
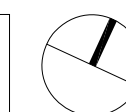
**LEGEND**

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE



**EXISTING ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**1**



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180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

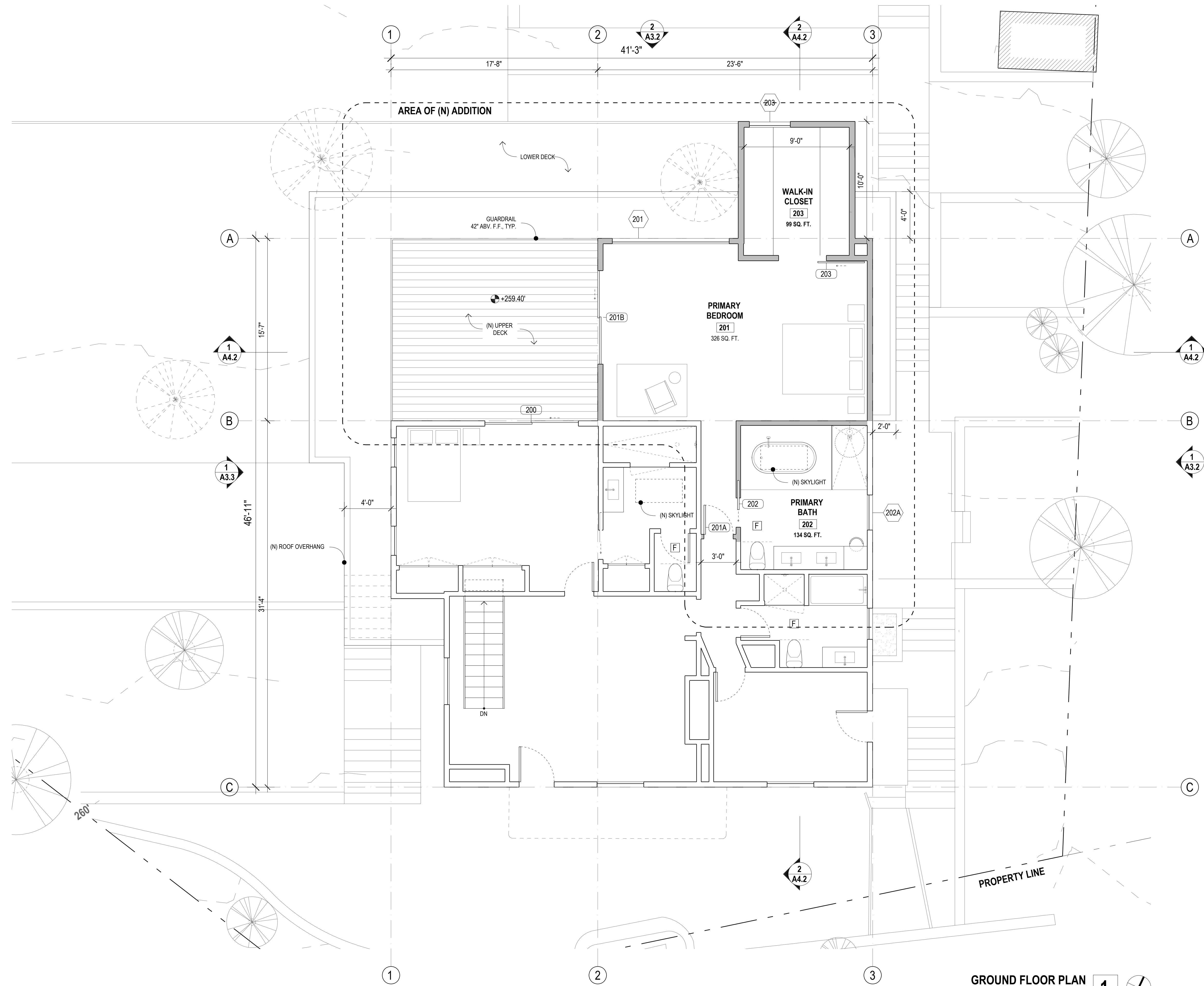
**ISSUES & REVISIONS**

| NO.        | DATE                      | DESCRIPTION |
|------------|---------------------------|-------------|
| 01/15/2021 | PLANNING PERMIT SUBMITTAL |             |
| 05/10/2021 | 1st PLANNING COMMENTS     |             |

**EXISTING ROOF PLAN**

DATE: 5/11/2021  
SCALE: 1/4" = 1'-0"  
DRAWING BY: YZ  
CHECKED BY: PS

**A2.2**



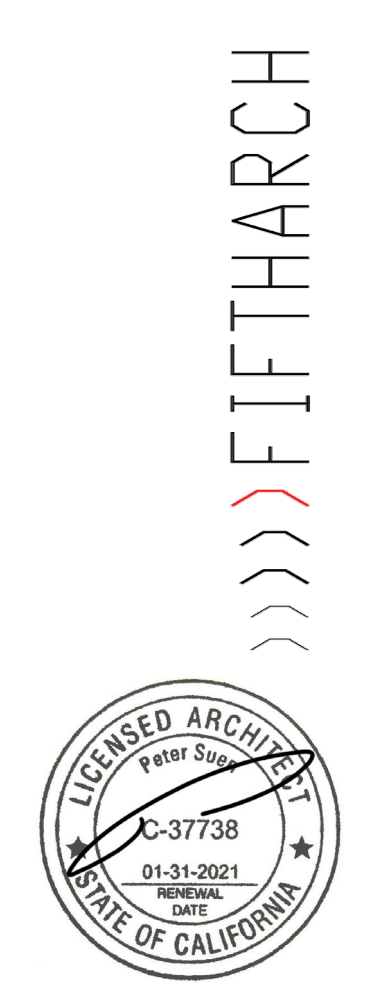
**GROUND FLOOR PLAN** 1  
SCALE: 1/4" = 1'-0"

**SHEET NOTES:**

1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFGR LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.
2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABV. THE FLOOR PER CRC R307.2.

**LEGEND**

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE
- ▬ (N) PROPOSED WALL
- ▬ (N) 1-HR PROPOSED WALL
- [F] FAN (PER 2013 CGC §4.506)



PROJECT  
**FANG/JIANG ADDITION**  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

| ISSUES & REVISIONS |            |
|--------------------|------------|
| NO.                | DATE       |
|                    | 01/15/2021 |
| Δ                  | 05/10/2021 |

DESCRIPTION  
PLANNING PERMIT SUBMITTAL  
1st PLANNING COMMENTS

**GROUND FLOOR PLAN**

DATE: 5/11/2021  
SCALE: 1/4" = 1'-0"

DRAWING BY: YZ  
CHECKED BY: PS



| ISSUES & REVISIONS |                           |
|--------------------|---------------------------|
| NO.                | DESCRIPTION               |
| 1                  | PLANNING PERMIT SUBMITTAL |
| 2                  | 1st PLANNING COMMENTS     |

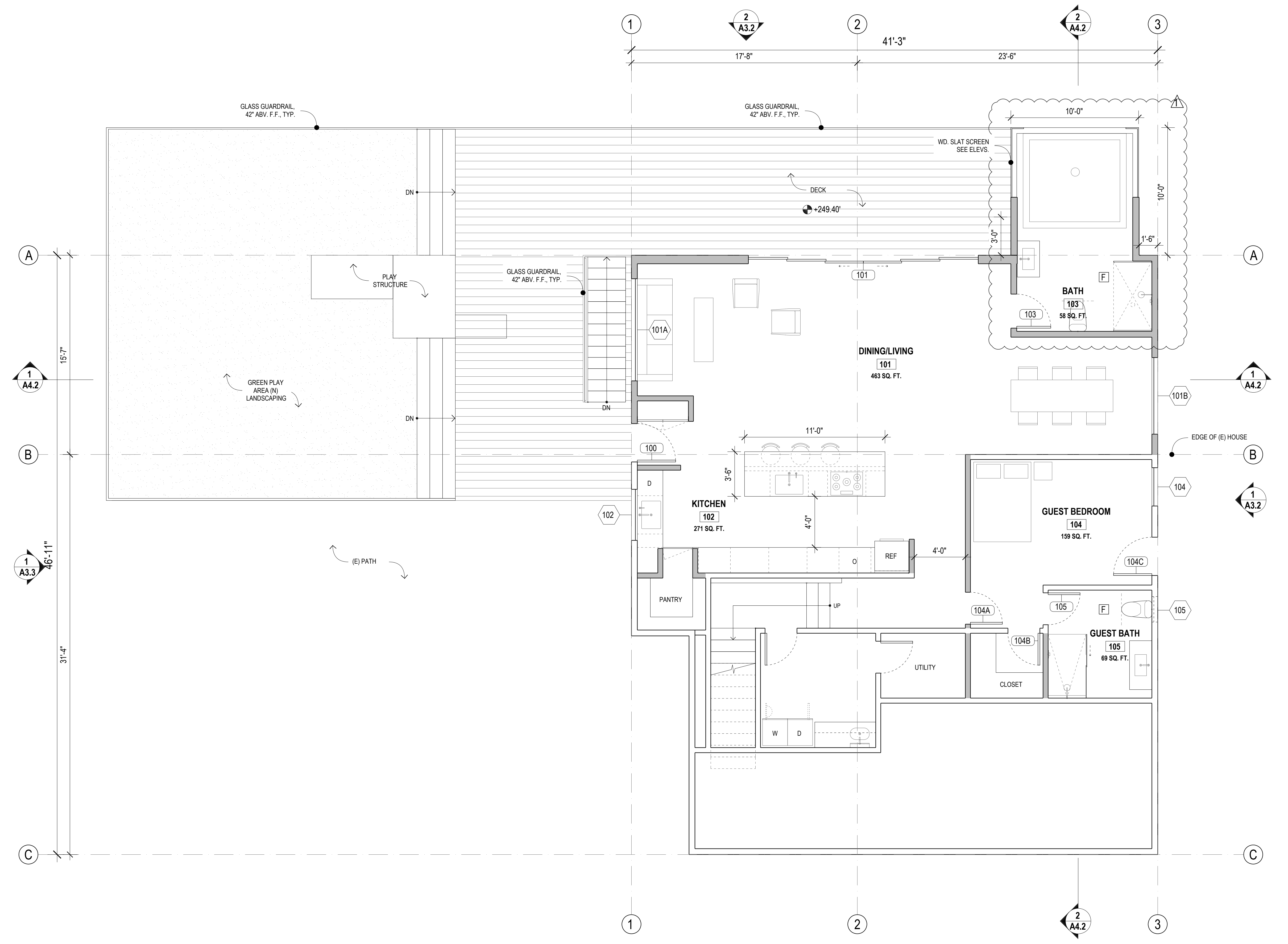
**LOWER FLOOR PLAN**

DATE: 5/11/2021  
 DRAWING BY: YZ  
 SCALE: 1/4" = 1'-0"

CHECKED BY: PS

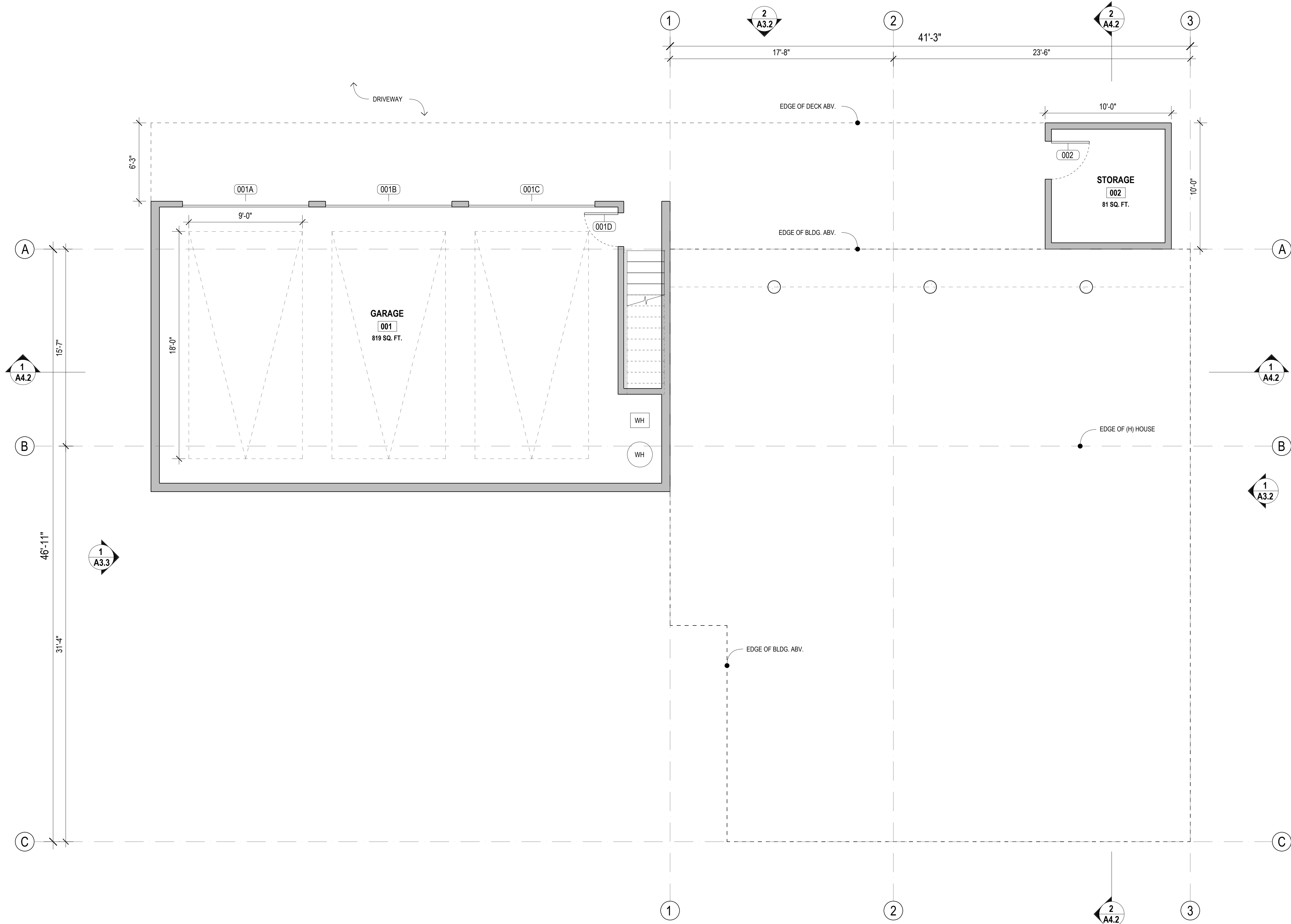
- SHEET NOTES:**
1. ALL NEW WINDOWS AND GLASS DOORS SHALL BE DOUBLE PANED, INSULATED W/ MAX U-VALUES AS STATED ON THE CALIFORNIA TITLE-24 REPORT. TEMP. MFGR LABELS SHOWING NEW GLAZING U-VALUES SHALL NOT BE REMOVED UNTIL BLDG. INSPECTOR AUTHORIZES TO DO SO.
  2. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABV. THE FLOOR PER CRC R307.2.

- LEGEND**
- EXISTING WALL / ELEMENT TO REMAIN
  - - - EXISTING WALL / ELEMENT TO REMOVE
  - ▬ (N) PROPOSED WALL
  - ▬ (N) 1-HR PROPOSED WALL
  - [F] FAN (PER 2013 CGC §4.506)



**LOWER FLOOR PLAN** **1**  
 SCALE: 1/4" = 1'-0"

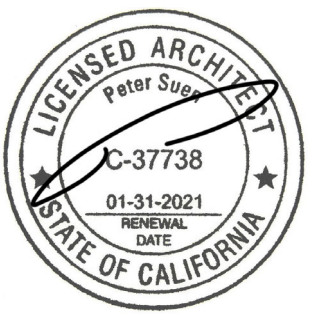




- SHEET NOTES:**
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- LEGEND**
- EXISTING WALL / ELEMENT TO REMAIN
  - - - EXISTING WALL / ELEMENT TO REMOVE
  - ▬ (N) PROPOSED WALL
  - ▬ (N) 1-HR PROPOSED WALL
  - Ⓜ FAN (PER 2013 CGC §4.506)

**LOWER GARAGE PLAN**  
SCALE: 1/4" = 1'-0" **1**

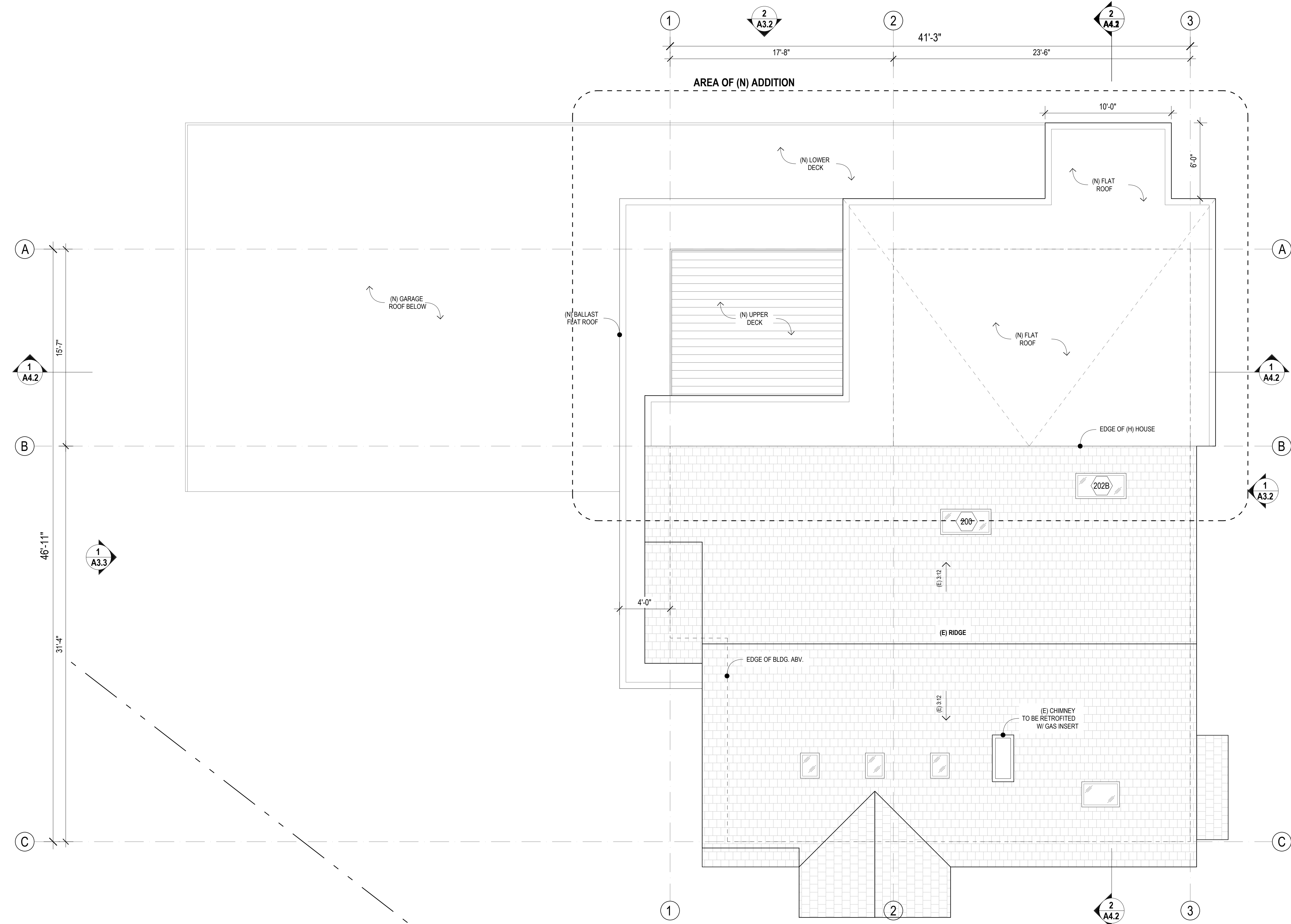


**PROJECT**  
FANG/JIANG ADDITION  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

| ISSUES & REVISIONS |            |
|--------------------|------------|
| NO.                | DATE       |
|                    | 01/15/2021 |
| Δ                  | 05/10/2021 |

| DESCRIPTION               |  |
|---------------------------|--|
| PLANNING PERMIT SUBMITTAL |  |
| 1st PLANNING COMMENTS     |  |

**LOWER GARAGE PLAN**  
DATE: 5/11/2021  
SCALE: 1/4"=1'-0"  
DRAWING BY: YZ  
CHECKED BY: PS



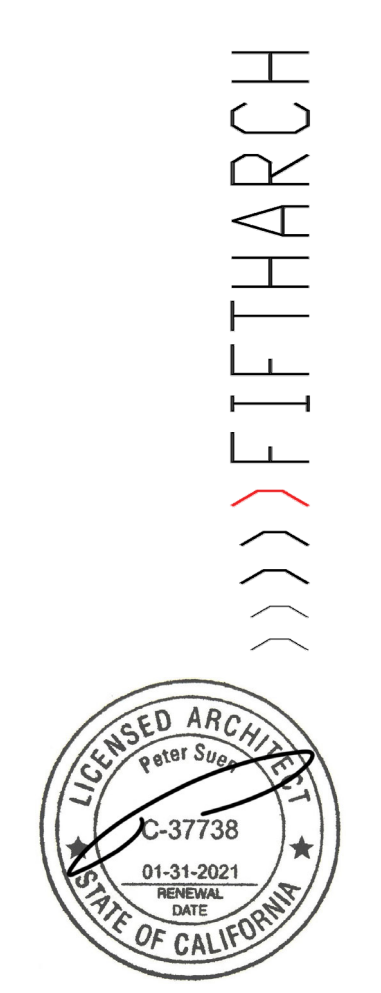
**SHEET NOTES:**

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- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED W/ A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FT. ABV. THE FLOOR PER CRC R307.2.

**LEGEND**

- EXISTING WALL / ELEMENT TO REMAIN
- - - EXISTING WALL / ELEMENT TO REMOVE
- ▬ (N) PROPOSED WALL
- ▬ (N) 1-HR PROPOSED WALL
- ⊞ FAN (PER 2013 CGC §4.506)

**PROPOSED ROOF PLAN**  
SCALE: 1/4" = 1'-0" **1**



**PROJECT**  
FANG/JIANG ADDITION  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

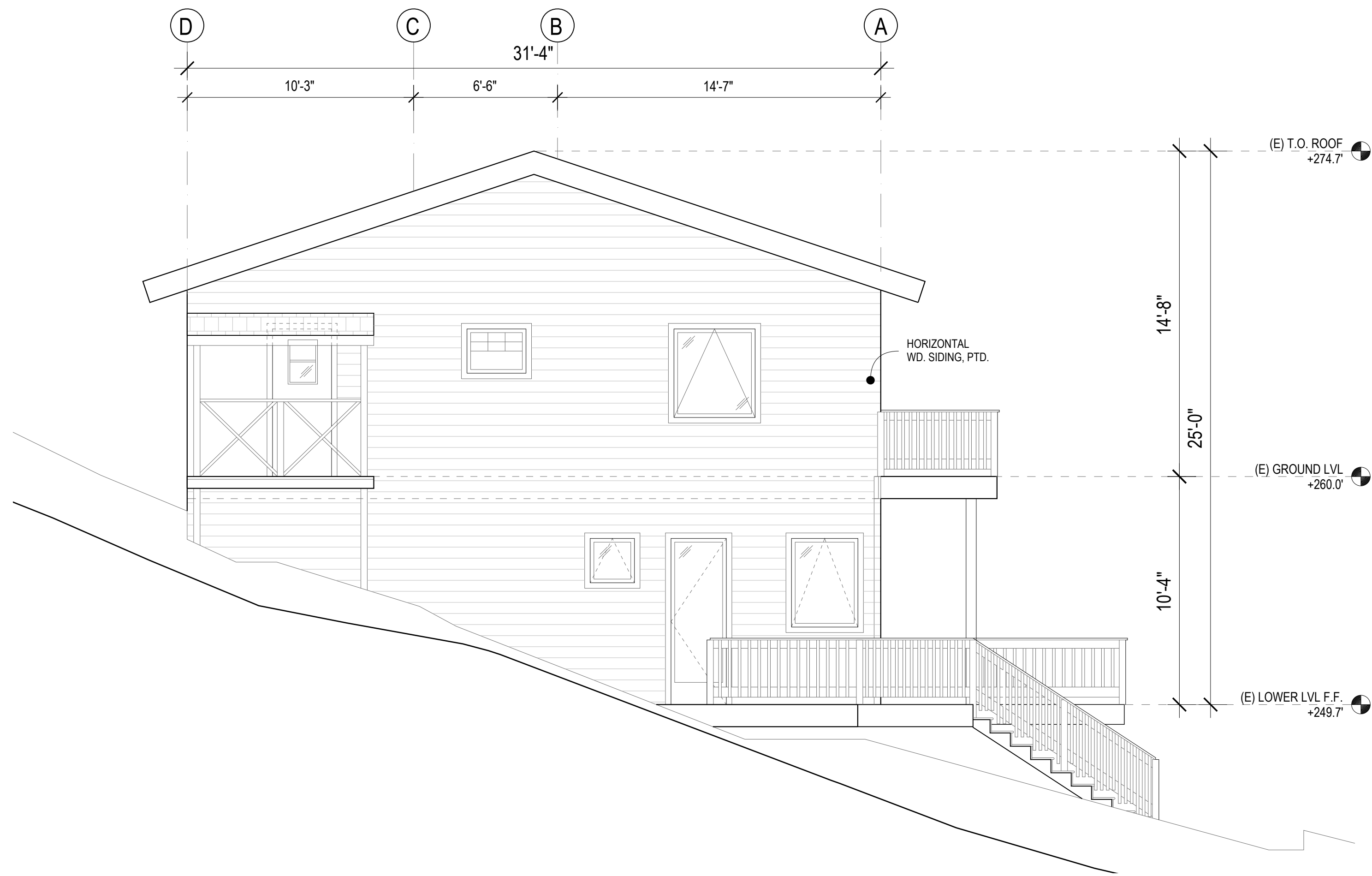
| ISSUES & REVISIONS |            |
|--------------------|------------|
| NO.                | DATE       |
| 1                  | 01/15/2021 |
| 2                  | 05/10/2021 |

**PROPOSED ROOF PLAN**

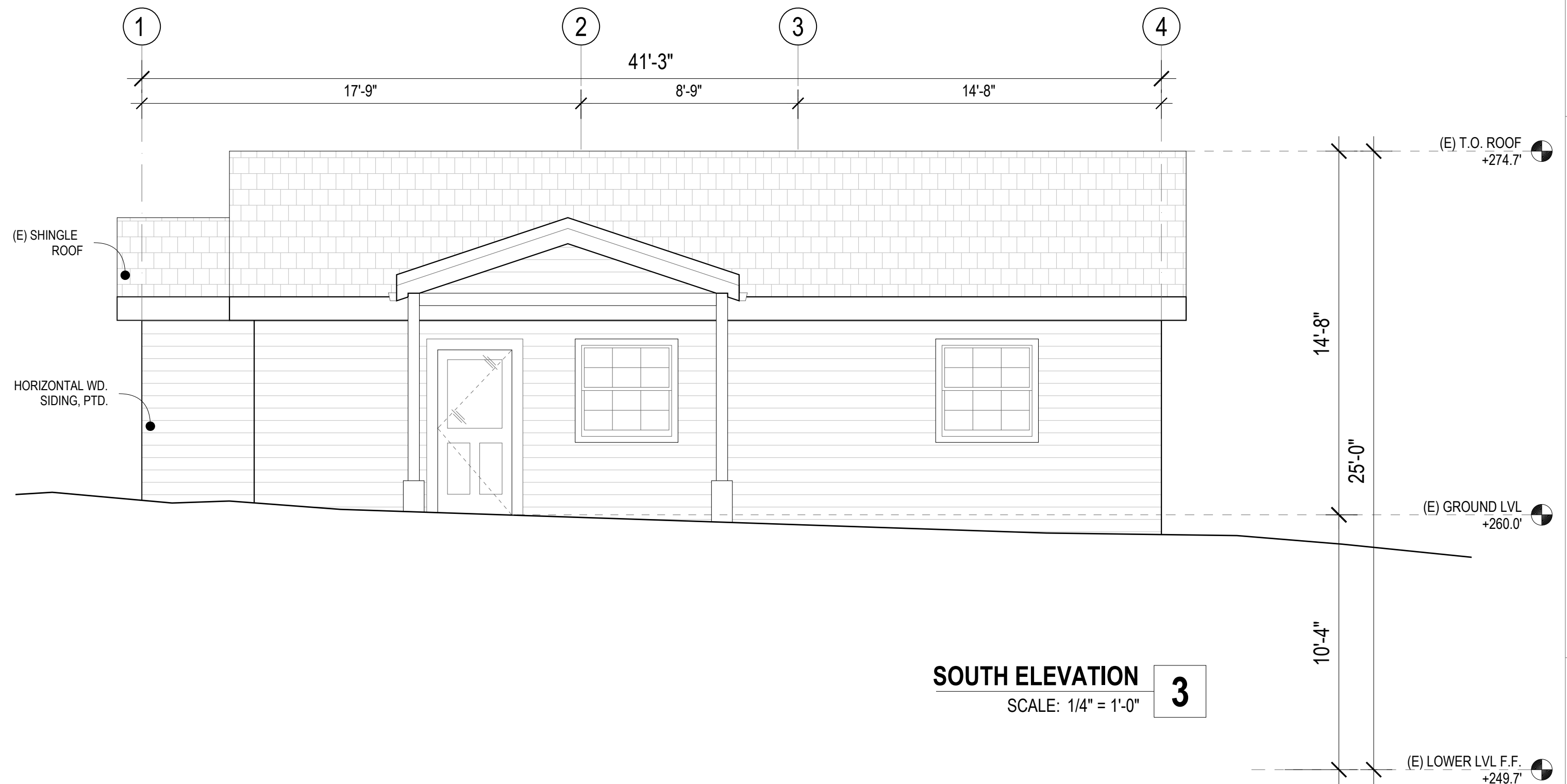
DATE: 5/11/2021  
SCALE: 1/4" = 1'-0"

DRAWING BY: YZ  
CHECKED BY: PS

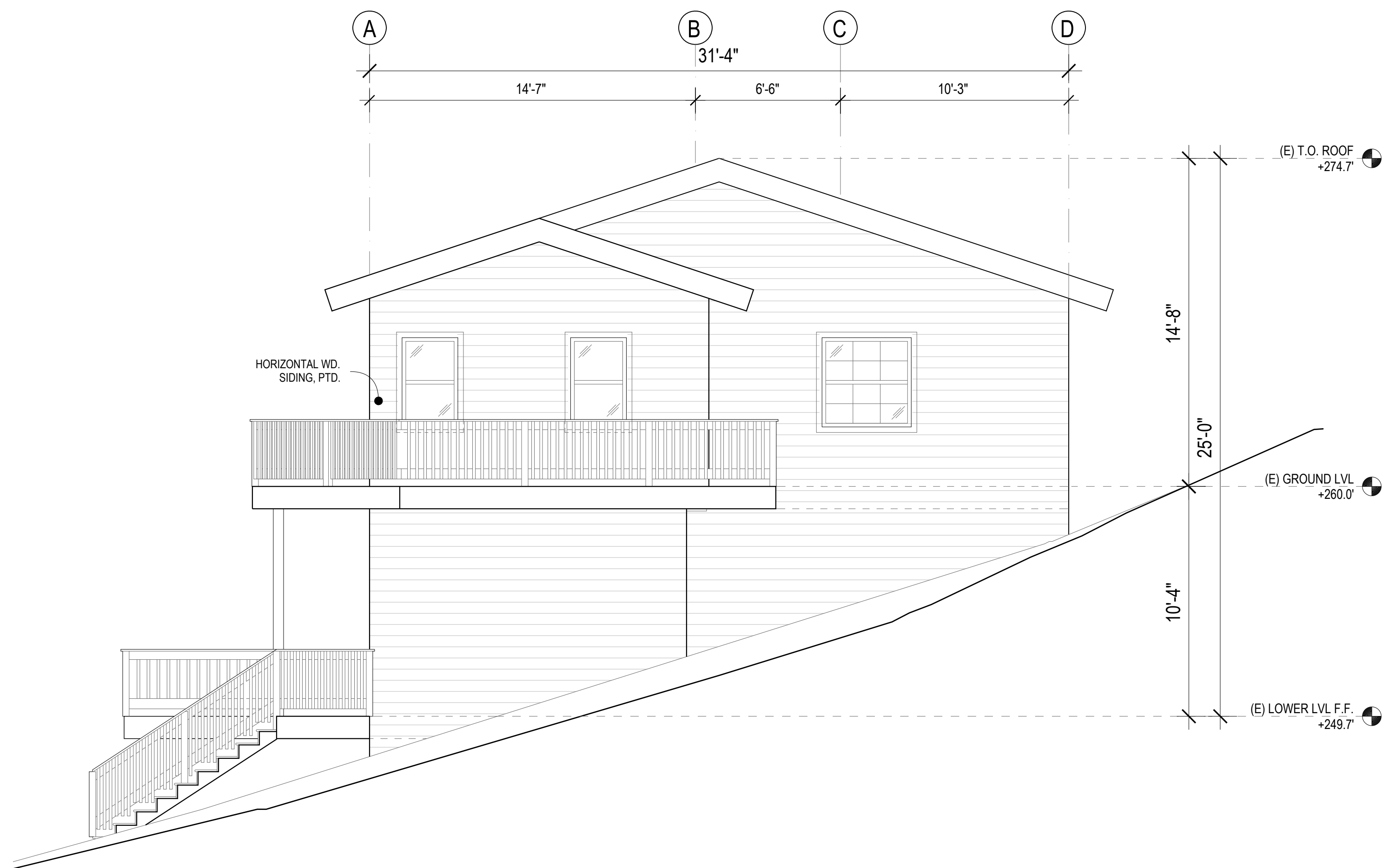
**A2.6**



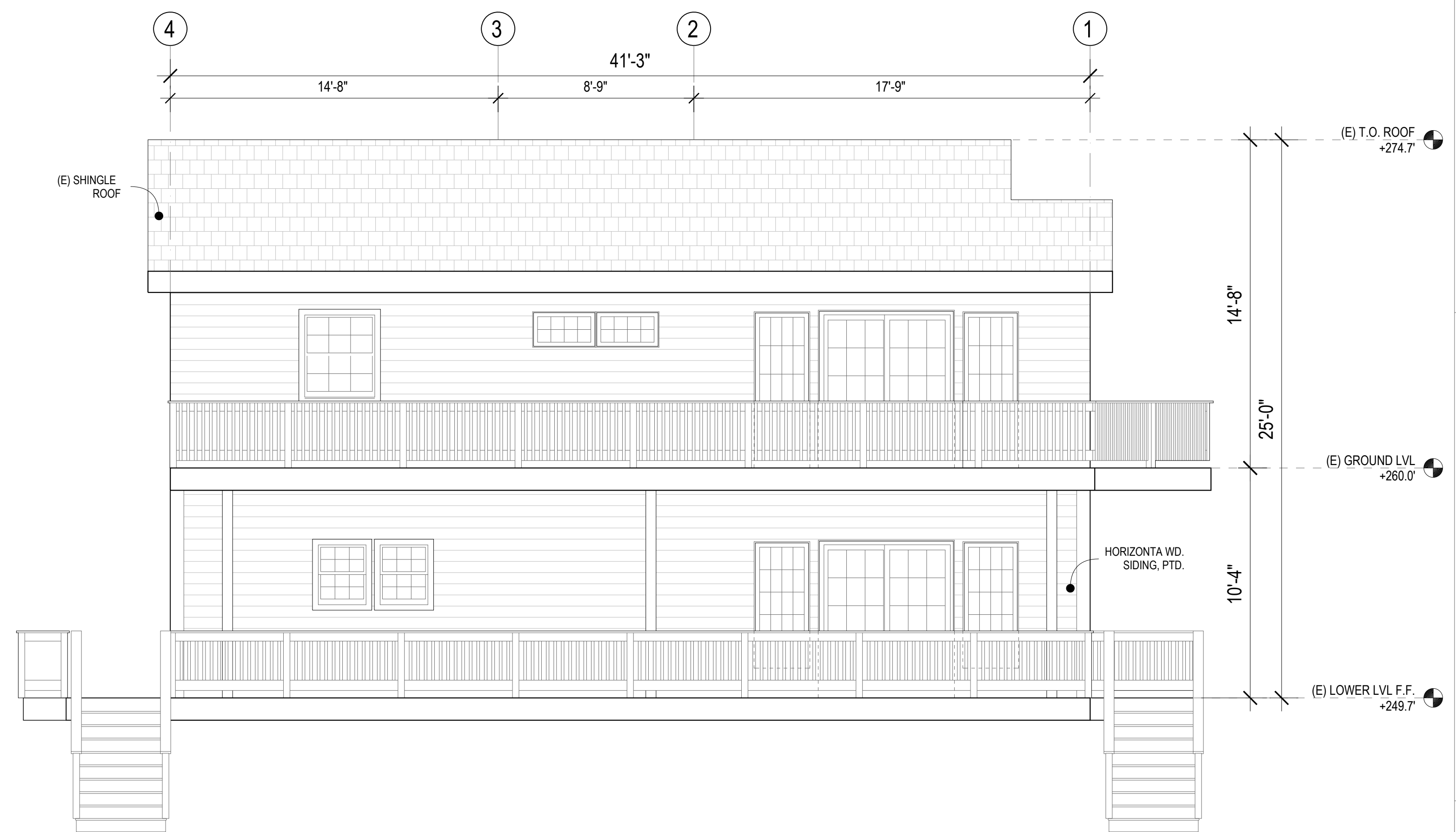
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0" **4**



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0" **3**



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0" **2**



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0" **1**

**SHEET NOTES:**

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**LEGEND**

EGRESS WINDOW, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT



**PROJECT**  
FANG/JIANG ADDITION  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

| ISSUES & REVISIONS | NO. | DATE       | DESCRIPTION               |
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|                    |     | 01/15/2021 | PLANNING PERMIT SUBMITTAL |
|                    |     | 05/10/2021 | 1st PLANNING COMMENTS     |

**EXISTING BUILDING ELEVATIONS**

DATE: 5/11/2021  
SCALE: AS NOTED  
DRAWING BY: YZ  
CHECKED BY: PS

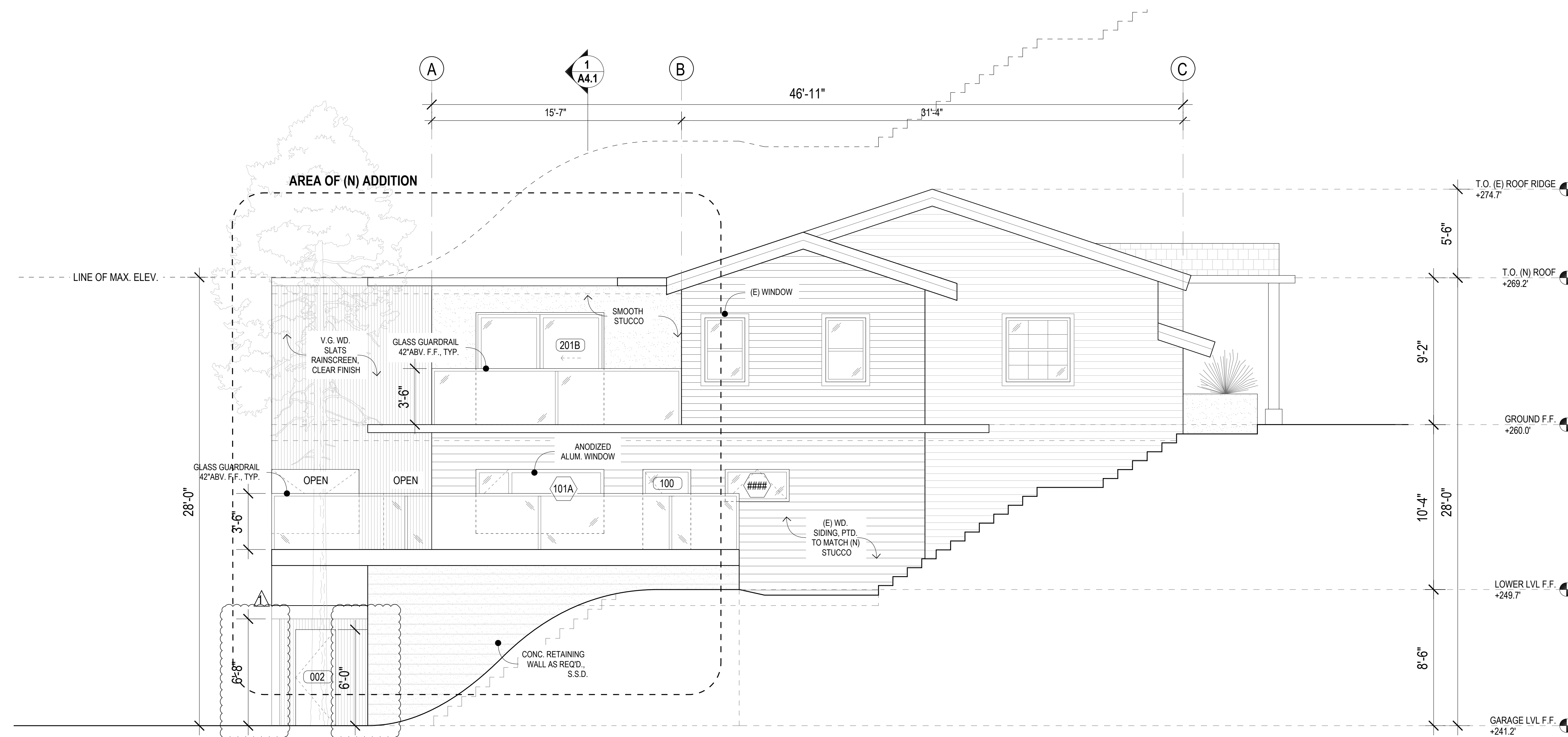


**SHEET NOTES:**

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**LEGEND**

EGRESS WINDOW, MAX 44" ABV. F.F., 20" MIN. CLEAR WIDTH & 24" MIN. NET CLEAR OPENING HEIGHT



**WEST ELEVATION** 1  
SCALE: 1/4" = 1'-0"



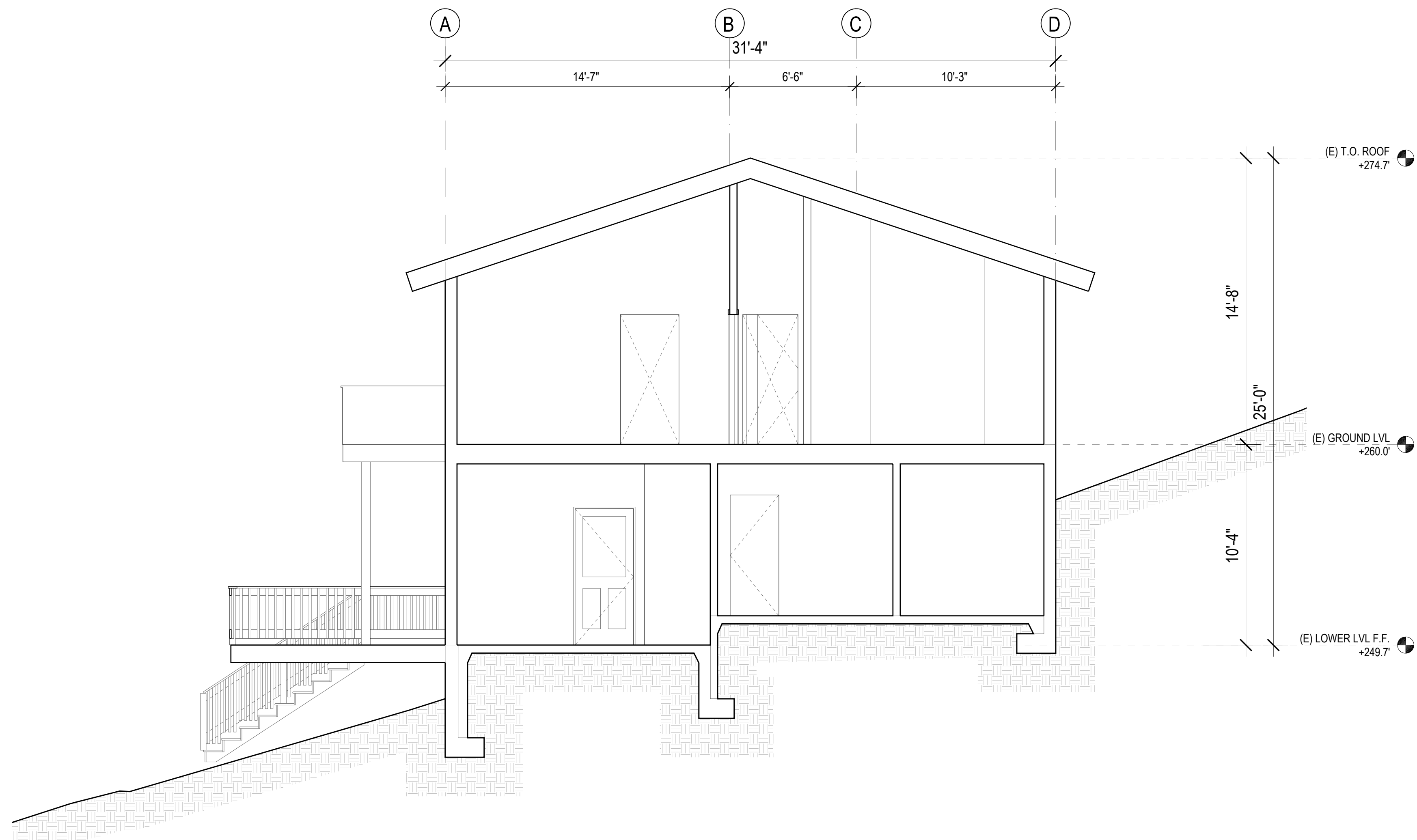
**PROJECT**  
FANG/JIANG ADDITION  
180 LAKEVIEW WAY  
REDWOOD CITY, CA 94062

**ISSUES & REVISIONS**

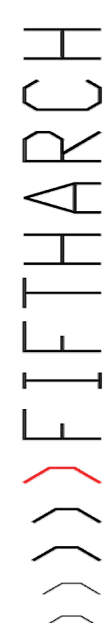
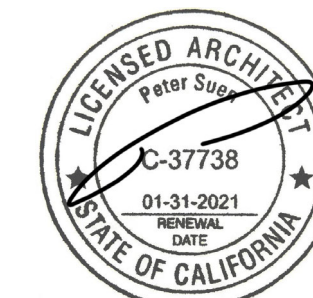
| NO. | DATE       | DESCRIPTION               |
|-----|------------|---------------------------|
| 1   | 01/15/2021 | PLANNING PERMIT SUBMITTAL |
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**BUILDING ELEVATION**

DATE: 5/11/2021  
SCALE: AS NOTED  
DRAWING BY: YZ  
CHECKED BY: PS



**EXISTING BUILDING SECTION 1**  
SCALE: 1/4" = 1'-0"



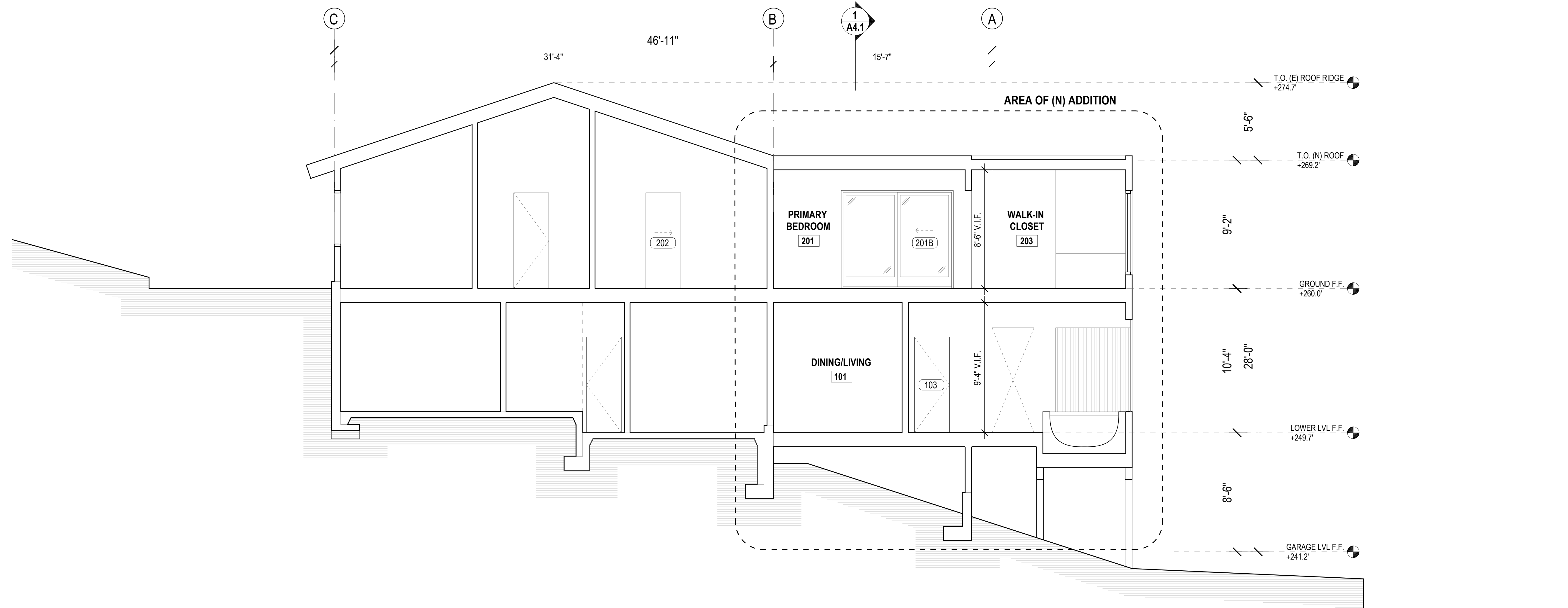
**PROJECT**  
**FANG/JIANG ADDITION**  
 180 LAKEVIEW WAY  
 REDWOOD CITY, CA 94062

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|--------------------|------------|
| NO.                | DATE       |
|                    | 01/15/2021 |
| Δ                  | 05/10/2021 |
|                    |            |
|                    |            |

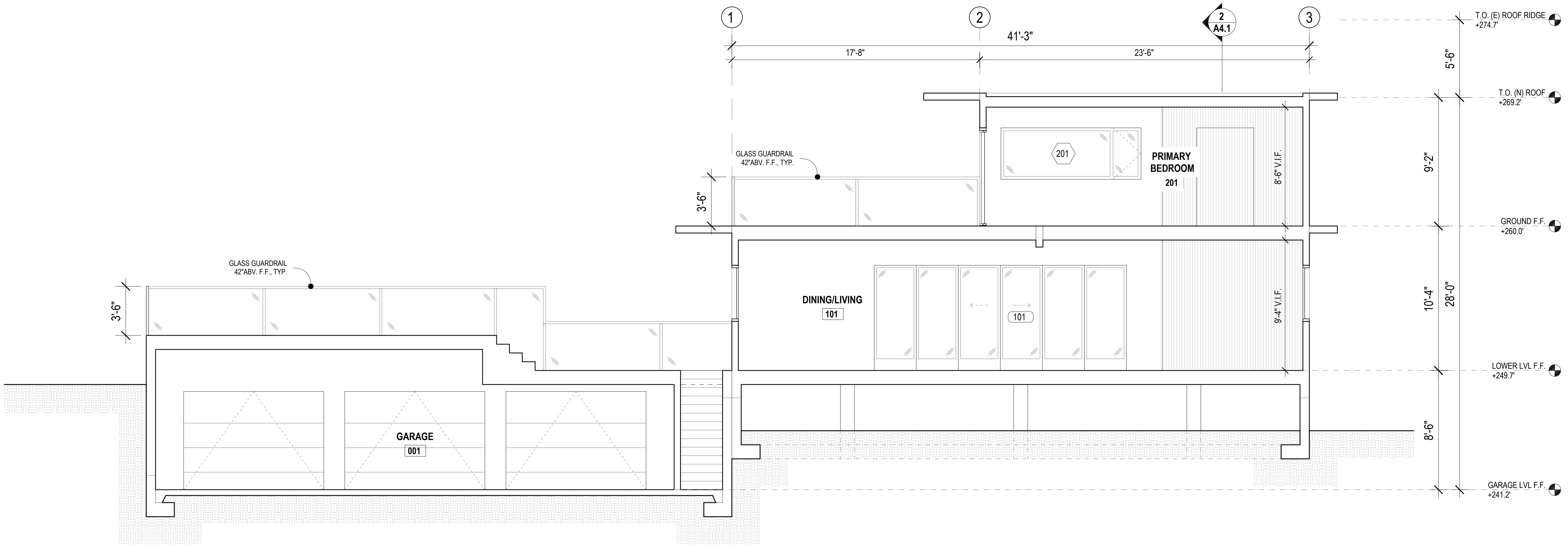
| EXISTING BUILDING SECTIONS |                           |
|----------------------------|---------------------------|
| DESCRIPTION                | PLANNING PERMIT SUBMITTAL |
|                            | 1st PLANNING COMMENTS     |
|                            |                           |
|                            |                           |

DATE: 5/11/2021  
 SCALE: AS NOTED  
 DRAWING BY: YZ  
 CHECKED BY: PS

**A4.1**



**PROPOSED LONG SECTION 2**  
SCALE: 1/4" = 1'-0"



**PROPOSED LONG SECTION 1**  
SCALE: 1/4" = 1'-0"

| ISSUES & REVISIONS |            |
|--------------------|------------|
| NO.                | DATE       |
|                    | 01/15/2021 |
| Δ                  | 05/10/2021 |

| BUILDING SECTIONS         |            |
|---------------------------|------------|
| DESCRIPTION               | DATE       |
| PLANNING PERMIT SUBMITTAL | 01/15/2021 |
| 1st PLANNING COMMENTS     | 05/10/2021 |